

# PRELIMINARY / FINAL MINOR SUBDIVISION AND LAND DEVELOPMENT PLAN

## FOR

# SPRING LAKE APARTMENTS

SITUATED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD  
LOWER ALLEN TOWNSHIP  
CUMBERLAND COUNTY, PENNSYLVANIA

### PROJECT STATEMENT

The purpose of this plan is for the construction of a ~~document~~ building at the intersection of Orchard Road and Carlisle Road. This work is proposed in addition to the phase I remodel of the existing office building. Included in this phase II is an 8,000 sq. ft. building with permeable parking area, utilities, landscaping and stormwater management bmp's.

### WAIVERS

A waiver has been granted by the Lower Allen Township Board of Commissioners at a regularly scheduled meeting on March 22, 2023 for the following:

- Section 192-30-A(1): Preliminary plan submission
- Section 192-57-C.8: Requiring the installation of curb along Orchard Road and Carlisle Road
- Section 192-57-C.13.c1: Widen abutting streets to the development that don't meet Township standards.
- Section 192-57-C.9: Requiring the installation of sidewalk along Orchard Road and Carlisle Road

### EXPECTED PROJECT SCHEDULE

It is expected that following Township approval and after all of the necessary permits have been granted, construction will begin in summer of 2023. Construction is expected to take 12 months and following construction, all necessary permits will be terminated.

### NOTICE TO CONSTRUCT SIDEWALKS

A request of deferral of installation of sidewalks has been requested by the Lower Allen Township Board of Commissioners. The following note is from the Township Ordinance Chapter 187-22 addressing a notice of construction:

- All owners of property abutting on any street or highway in the Township, upon 60 days' notice to do so from the Board of Commissioners through the Township Secretary, shall construct, grade, pave, curb, repave and recurb the sidewalk along such property, and upon failure of such owner or owners to do so within such period, without notice to such property owner or owners as above provided, the Township shall in effect cause the same to be done and to pay and collect the costs thereof from such owner or owners. The cost of any such grading, paving, curbing, repaving and recubing shall be a lien upon the premises from the time of the commencement of the work, which date shall be fixed by the Township Engineer and shall be filed with the Township Secretary. Any such lien may be collected by action of assumpit or by lien filed in the manner provided by law for the filing and collection of municipal claims.

OWNER/DEVELOPER:  
BANE II INVESTMENTS, LLC  
10 KASEY COURT  
MECHANICSBURG, PA 17055

C/O: MIKE WEIDNER  
EMAIL: mike@weidnerconstruction.com  
PHONE: (717) 446-4141

CIVIL ENGINEER / SURVEYOR:  
FSA INC.  
505 SOUTH HANOVER STREET  
CARLISLE, PA 17013

PROJECT MANAGER: JUSTIN DOTY  
EMAIL: jdoty@fsa-inc.com  
PHONE: (717) 701-8111

### SHEET INDEX

TYPE	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES AND LEGENDS
V-101	SHEET 03	EXISTING CONDITIONS PLAN
V-102	SHEET 04	SUBDIVISION PLAN
C-101	SHEET 05	LAYOUT AND DIMENSION PLAN
C-102	SHEET 06	GRADING AND UTILITY PLAN
L-101	SHEET 07	LANDSCAPE PLAN
C-501	SHEET 08	SITE DETAILS
ESC-001	SHEET 09	EROSION AND SEDIMENT CONTROL PLAN
ESC-002	SHEET 10	EROSION AND SEDIMENT CONTROL DETAILS
ESC-003	SHEET 11	EROSION AND SEDIMENT CONTROL DETAILS
PCSM-001	SHEET 12	POST CONSTRUCTION STORMWATER PLAN
PCSM-002	SHEET 13	POST CONSTRUCTION STORMWATER NOTES & DETAILS

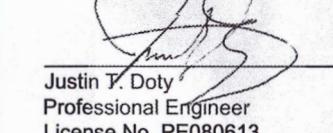
BY OTHERS:  
PHT-001

PHOTOMETRIC AND LIGHTING PLAN

### APPROVALS

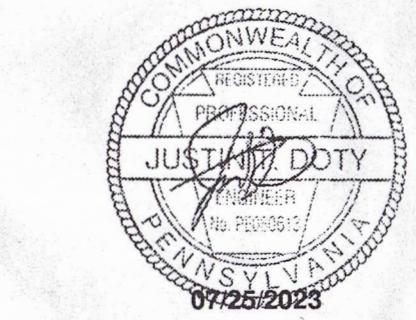
#### ENGINEER'S CERTIFICATION

I hereby certify that the plan or map shown hereon is correct and has been prepared and approved by me, and that I am a duly licensed professional engineer under the laws of the State of Pennsylvania. The Engineer has been to the site and observed the present condition and the plan indicates that actual condition of the plan, and to the best of my knowledge and belief it is true and correct, and the Township may rely upon the accuracy thereof.

  
Justin T. Doty  
Professional Engineer  
License No. PE080613  
Expiration Date: 9/30/2023

RECODER OF DEEDS  
This plan was recorded in the Cumberland County courthouse on this 21st day of August, 2022.  
2022-08-21-001  
Instrument Number

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVAL  
Approved by the Lower Allen Township Commissioners and all conditions imposed with respect to such approval were completed on this 22nd day of July, 2022.  
John W. Villone  
Chairman  
Secretary



07/25/2023

7-25-23

LOWER ALLEN TOWNSHIP PLANNING COMMISSION APPROVAL  
Approved by the Lower Allen Township Planning Commission and all conditions imposed with respect to such approval were completed on this 21st day of July, 2022.  
John W. Villone  
Chairman  
Secretary

CUMBERLAND COUNTY PLANNING COMMISSION  
Reviewed by the Cumberland County Planning Department on this 9th day of December, 2022.  
Kirk Stoner (SE)  
Director of Planning

07/25/2023

7-25-23

7-25-23

7-25-23

OWNER'S STATEMENT OF ACKNOWLEDGEMENT  
It is hereby certified that the undersigned has legal or equitable title to the land shown herein, and all streets, if not previously dedicated, are hereby dedicated to the public.

Property ID #: 13-23-0549-138  
Owner: Bane II Investments, LLC  
c/o Mike Weidner, President

Stephen J. Blihi  
Signature

7/26/23

State of: Pennsylvania  
County of: Cumberland

On this 26th day of July, 2023, Before Me

STEPHEN J. Blihi  
Notary Public - Print Name

The Undersigned Officer, Personally Appeared

Michael J. Weidner  
Owner - Print Name

Known to me to be the person(s) whose name is subscribed above and acknowledged that they executed the same for the purpose hereon.

In witness whereof, I hereunto set my hand and official seals.

Stephen J. Blihi  
Notary Public

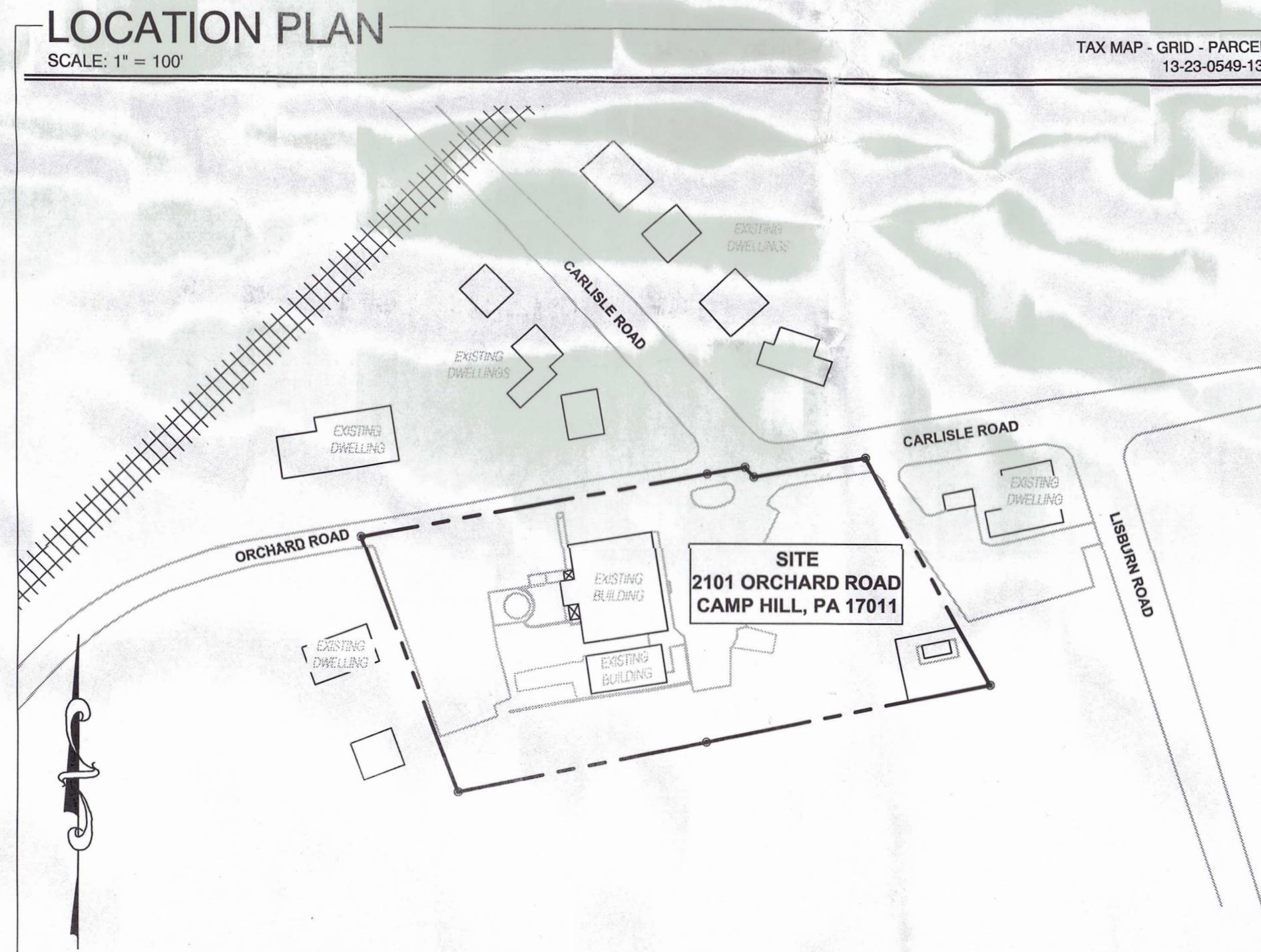
Commonwealth of Pennsylvania - Notary Seal

Stephen J. Blihi, Notary Public

Cumberland County

My commission expires September 26, 2023

Commission number: 1387299



INITIAL SUBMISSION: November 21, 2022  
FINAL TOWNSHIP BOARD OF COMMISSIONERS APPROVAL: March 27, 2023

PROJECT NO. 2022-0012

OWNED BY CMH DATE 6-29-2023

PROJECT MANAGER JTD EMAIL: jdoty@fsa-inc.com

PROPERTY ID # 13-23-0549-138

SCALE NTS

SHEET TITLE

COVER SHEET

811

Know what's below.  
Call before you dig.

C-001

SHEET 01 OF 13

### SPRING LAKE APARTMENTS

SITUATED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

Bane II Investments, LLC c/o Mike Weidner  
10 Kasey Court, Camp Hill, PA 17011  
(717) 446-4141

Isr-cc.com

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FREDERICK SEIDEL & ASSOCIATES, INC.

CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS

201 EAST MAIN STREET  
GREENCASTLE, PA 17225  
(717) 262-2111

201 EAST HANOVER STREET  
HAGERTY, MD 21030  
(301) 459-3880

DATE: 24-2023

3-16-2023

Comments

RECEIVED

RECORDED

APPROVED

RECEIVED

## CONTRACTOR NOTES

- The contractor shall be responsible for obtaining any permits from the municipality relative to the construction proposed on this plan.
- The contractor shall be responsible for replacement of damaged or destroyed existing landscape and/or site features which are to remain.
- Plan location and dimensions shall be strictly adhered to unless otherwise directed by the Owner's representative.
- Prior to building stakeout, contractor shall verify dimensions set forth on the latest architectural plans.
- All construction to conform to the municipal and/or County ordinances and specifications. It is the contractor's responsibility to be aware of applicable standards and specifications as well as the required methods of construction. All deviations from the plans must be approved prior to construction.
- The contractor shall be responsible for all traffic control, trench barricading, covering, sheeting and shoring, in accordance with applicable Federal, State and Local regulations. Maintenance and protection of traffic along the existing roads neighboring the project is the sole responsibility of the contractor. All M&P Plans and procedures shall be in accordance with Township and/or PennDOT standards.
- The contractor shall check and verify all existing site conditions and dimensions prior to construction. Any discrepancies between the plans and actual field conditions shall be reported to Frederick, Seibert and Associates (FSA) prior to construction.
- The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage done due to the contractor's negligence shall be immediately and completely repaired at the contractor's expense. Existing utilities, roads, driveways, and structures shown are from the best available records and shall be verified by the contractor to their satisfaction prior to construction.
- Dimension and geometry shown on this plan shall be verified during stake-out calculations and field stake-out.
- The contractor is responsible for maintaining the drainage pattern as shown on these plans and maintaining positive drainage away from all buildings and also a minimum slope on all grass areas.
- Any proposed signs shall conform to the requirements of the local municipal zoning ordinance.
- Contractor to test fit all existing utilities prior to construction. FSA makes no guarantee that the existing utilities are exactly as shown.
- Contractor shall verify to their satisfaction, the final earthwork numbers prior to commencement of site work. FSA makes no guarantee that on site soils will be suitable for structural fill, or that the earthwork will balance. Contractor assumes full responsibility for the actual earthwork numbers encountered during construction.
- All dimensions in areas of proposed curbing are face of curb to face of curb unless otherwise noted.
- In the case of discrepancy between the scaled and the figured dimensions shown on these plans, the figured dimension shall govern.
- Failure to specifically identify any work which would normally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
- The contractor is solely responsible for the construction means, methods, techniques, sequences, procedures, and safety precautions and programs.
- The contractor shall adjust all existing utility appurtenances as necessary to match proposed grades, unless otherwise noted.
- Curb and pavement shall be installed in a manner as to ensure positive drainage in all areas.
- Field dimensions shall be made as necessary to provide smooth transition both horizontally and vertically from the existing to proposed paving sections.
- All unsuitable materials within structural fill areas must be removed and replaced with suitable material to a depth as directed by the geotechnical engineer and/or the municipality.
- Where it is necessary to connect to or extend existing paving, saw cut the existing edge of pavement and mill and overlay at the point of tie-in to ensure a smooth transition and positive drainage.
- If retaining walls are proposed in this plan, they're shown for illustrative purposes only. The final shape, height, footing, material selection, and design of these walls is the responsibility of the Developer and/or contractor.
- All handicapped ramps, sidewalk and handicapped parking spaces must meet all applicable ADA requirements. The contractor shall verify ADA compliance prior to placement of paving or concrete.
- All items which are referenced and not specifically detailed shall be selected by the owner or owner's representative.

## EROSION AND SEDIMENT CONTROL NOTES

- The measures required in the approved Erosion and Sediment Control Plan shall apply as if shown on this plan. These measures shall be completed and in service prior to the commencement of any site work or construction according to the sequence of construction outlined on the approved Erosion and Sediment Control Plans.

## ADDITIONAL SITE DATA

EXISTING USE	Office
PROPOSED USE	Multifamily Dwellings
SITE ADDRESS	2101 Orchard Road
PROPERTY ID	13-23-0549-138
PROPOSED BUILDINGS	1 Apartment Building, Community Center
PROPOSED DWELLING UNITS	PHASE 1 = 12 units (2 - 1 bedroom units, 10 - 2 bedroom units) PHASE 2 = 12 units (2 - 1 bedroom units, 10 - 2 bedroom units)
EXISTING IMPERVIOUS COVERAGE	0.90 ac. (40%)
PROPOSED IMPERVIOUS COVERAGE	1.03 ac. (53%)
LAND DISTURBANCE AREA	0.91 ac.
WATER SERVICE	Public connection, PA American Water
SEWER SERVICE	Public connection, Lower Allen Township Municipal Authority

## GENERAL NOTES

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor to Lower Allen Township specifications.
  - No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
  - FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction. Contractor to contact PA One Call System, Inc. at (800) 242-1776.
  - The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities. Utility easements are offered for utilization to their respective Authority upon approval and acceptance of said respective authority.
  - No trees, shrubs, fences, buildings, or improvements are permitted within the 100' clear sight triangle at any street intersection, existing or proposed.
  - No trees, shrubs, fences, buildings, or improvements are permitted within any easements, existing or proposed, as shown on this plan.
  - The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
  - All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
  - The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:
- |   |                |
|---|----------------|
| PA One Call System                      | (800) 242-1776 |
| Lower Allen Township                    | (717) 975-7575 |
| Cumberland County Conservation District | (717) 240-7812 |
| Cumberland County Planning Department   | (717) 240-5362 |
11. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
  12. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
  13. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and paving through base course before loading site with heavy vehicles.
  14. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
  15. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
  16. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
  17. Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
  18. Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
  19. All fills shall be placed in approximately horizontal layers with each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.

## LAND DEVELOPMENT NOTES

- The site has been visited by an experienced professional and there are no signs of watercourses, wetlands, or marshes in the proposed area of construction.
- This site does not lie within a designated 100 year floodplain according to FEMA FIRM panel 42041C0281E.
- No sinkholes were observed on-site. If any are discovered during construction, they should be repaired based on geotechnical recommendations.
- There are no stream buffers or wetlands observed on-site by FSA.
- The development shall be constructed in accordance with this plan and all applicable ordinances.
- Upon completion of the stormwater management improvements and prior to final inspections of improvements, the developer shall submit a plan labeled "as-built plan," showing the actual location, dimension and elevation of all stormwater management improvements.
- Field surveys were performed by Frederick, Seibert and Associates in March 2022, and all bearings shown herein are in the state plane coordinate system, PA South Zone, North American Datum of 1983 (NAD83).
- Topographic information shown herein is derived from field surveys performed by Frederick Seibert and Associates in March 2022, and is on the North American Vertical Datum of 1988 (NAVD88).
- The site benchmark can be found on sheet C-102 Grading and Utility Plan and is marked as a mag nail in Orchard Road. The elevation of this mag nail is 384.35.
- The applicant and owner acknowledge that certain site improvements depicted on this plan, including but not limited to accessible parking spaces, accessible route to the building and freestanding signs, that require approval under regulations contained in the PA Uniform Construction Code and/or Lower Allen Township zoning code must be installed in accordance with separate permit approvals granted under those regulations.
- A dedication of recreational land or fees paid in-lieu will be addressed based on Lower Allen Township ordinance regulations. See section 192-60.
- According to the Department of Conservation and Natural Resources (DCNR) PNDI receipt for the property, the US Fish and Wildlife Service has provided an avoidance measure that should be taken for construction on this property due to its proximity to the northern long-eared bat spring staging/fall swarming habitat. No tree removal shall occur from May 15 to August 15.

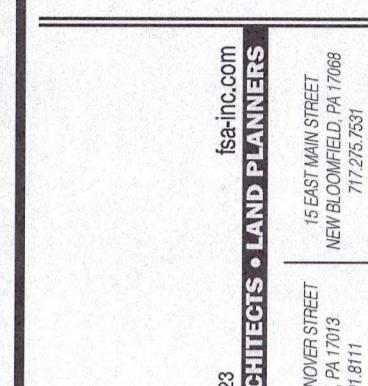
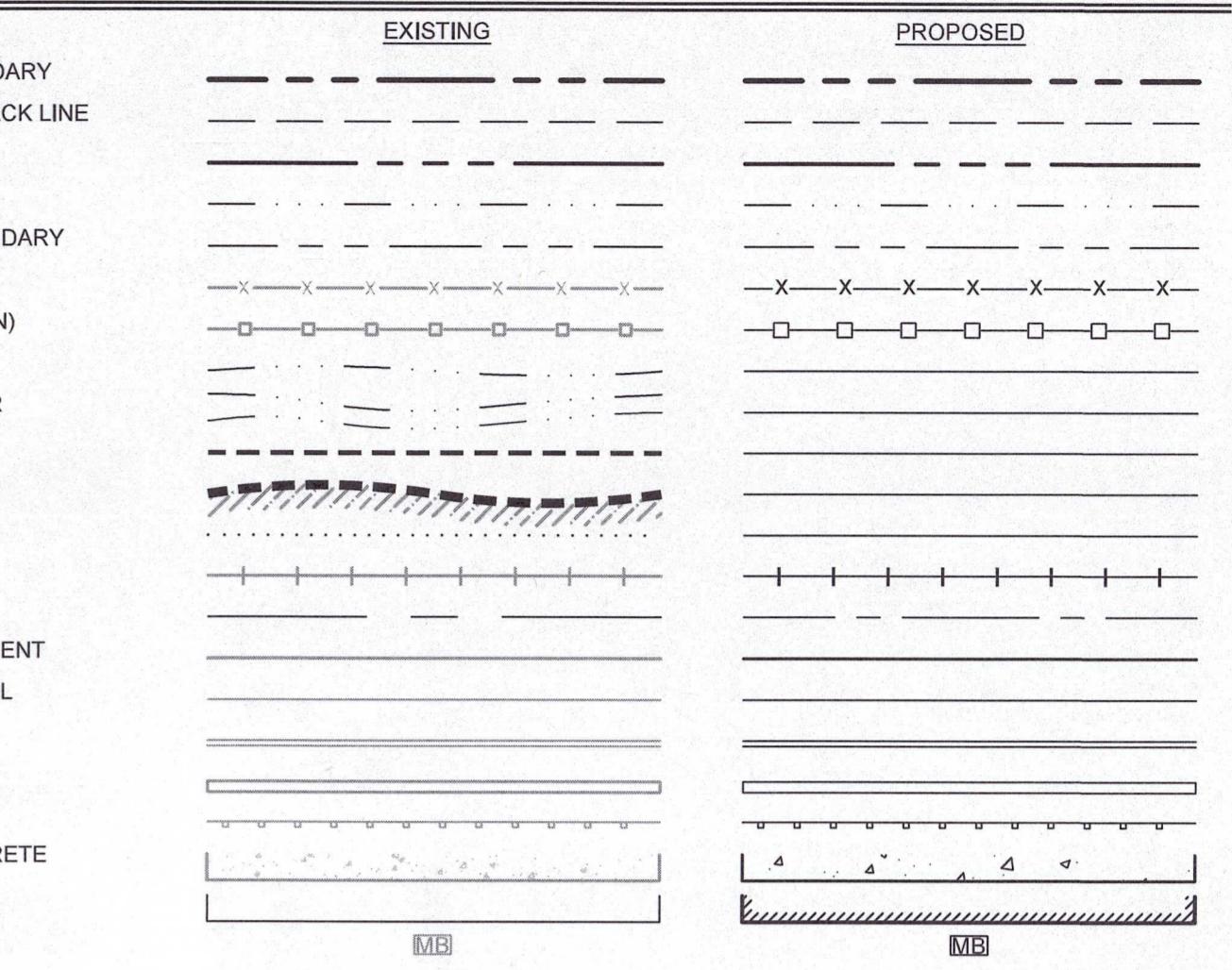
## STORMWATER NOTES

- The property owner will enter into an agreement with the municipality for the municipality to conduct the inspections and prepare reports. The owner will be responsible for reimbursing the municipality for the costs involved, such reimbursements are to be specified in the stormwater facilities and the BMP maintenance and monitoring agreement.
- The property owner will be responsible for maintenance of all stormwater management facilities to insure they are kept in design condition.
- Construction of stormwater management and erosion control facilities shall be in accordance with the municipality and County standards and specifications.
- All storm pipes, culverts, manholes, inlets and endwall sections shall be constructed in accordance with local municipality and governing standards.
- The stormwater collection and conveyance system has been designed in accordance with the design standards and specifications in place at the time of plan approval. FSA assumes no responsibility for changes in specifications that may occur after plan approval that would require alternate materials or installation requirements. The contractor shall verify all current standards and notify the Owner/Developer and FSA of any discrepancies that may exist prior to the start of construction.
- Easement conflicts prohibited. Nothing shall be placed, planted, set or put within the area of any easement that would adversely affect the function of the easement. No person shall place any structure, fill, landscaping or vegetation into a storm water management facility or within a drainage easement which will limit or alter the functions of the facility or easement in any way.
- Where any part of the proposed storm drain system is to be constructed within a fill section, the contractor shall compact all selected fill material to 95% of ASTM D-698 (AASHTO T-99) with a moisture content  $\leq 3\%$  of optimum up to the pipe bedding. Refer to the stormwater management construction specifications for a description of the select fill material.
- (SALDO § 184-29) As-built Notes:
  - The applicant shall be responsible for providing as-built plans of all SWM BMPs included in the approved SWM site plan. The as-built plans and an explanation of any discrepancies with the construction plans shall be submitted to the municipality.
  - The as-built submission shall include a certification of completion signed by a qualified professional verifying that all permanent SWM BMPs have been constructed according to the approved plans and specifications. The latitude and longitude coordinates for all permanent SWM BMPs must also be submitted, at the central location of the BMPs. If any licensed qualified professionals contributed to the construction plans, then a licensed qualified professional must sign the completion certificate.
  - After receipt of the completion certification by the municipality, the municipality may conduct a final inspection.
  - A blanket easement is dedicated to Lower Allen Township for the purpose of inspection of all stormwater management BMPs, including stormwater conveyance structures.
  - (SALDO § 184-43) No person shall modify, remove, fill, landscape, or alter any SWM BMPs, facilities, areas, structures, or easements that were installed/approved as a requirement of this chapter without written approval of the municipality.
  - (SALDO § 184-32) It is not anticipated that the Township will take long term ownership of the Stormwater management facilities on the site.

## ZONING DATA AND SALDO REGULATIONS

ZONING ORDINANCE: LOWER ALLEN TOWNSHIP			
ZONING DISTRICT: R-3 MULTI-FAMILY RESIDENTIAL (GROUNDWATER NON-USE OVERLAY)			
PROPOSED USE: MULTIFAMILY DWELLINGS			
ARTICLE VII, R-3 MULTIFAMILY RESIDENTIAL DISTRICT REGULATIONS			
ITEM	ZONING REGULATION	REQUIRED	AVAILABLE / PROPOSED
1	Maximum building height	75 ft.	<40 ft.
2	Maximum permitted density (excluding existing dedicated rights-of-way)	15 units per gross acre	12 units per acre
3	Minimum lot area	None	1.96 ac.
4	Minimum lot width (at existing dedicated right-of-way)	50 ft.	404 ft.
5	Maximum impervious coverage	60%	1.03 ac. (53%)
6	Minimum front yard setback	30 ft.	See front yard regulation table
7	Minimum side yard setback	15 ft. (for multifamily units)	>15 ft.
8	Minimum rear yard setback	35 ft.	>35 ft.
ARTICLE XIX, SECTION 220-202: BUFFERING REQUIREMENTS			
ITEM	ZONING REGULATION	REQUIRED	AVAILABLE / PROPOSED
1	Minimum buffer yard when multifamily dwellings abut residential uses	25 ft.	>25 ft.
ARTICLE XXIV, OFF-STREET PARKING			
ITEM	ZONING REGULATION	REQUIRED	AVAILABLE / PROPOSED
1	Minimum drive aisle width	24 ft.	24 ft.
2	Minimum parking space size	9 ft. x 18 ft.	9 ft. x 18 ft.
3	Minimum parking area setback from building (from multifamily dwellings or nonresidential buildings)	10 ft.	>10 ft.
4	Minimum parking area setback from lot line	5 ft.	>5 ft.
5	Minimum parking area setback from roadway (public or private streets)	6 ft.	>6 ft.
ARTICLE XX, SECTION 220-212: YARD REGULATIONS			
ITEM	ZONING REGULATION	REQUIRED	AVAILABLE / PROPOSED
1	When a lot abuts a street less than 50 ft., the front yard depth and width of the side yard abutting the street shall be measured from a line parallel to 25 ft. from the center line of the street	25 ft.	>25 ft.
2	Minimum interior yard separation for principal structures. (Distances are for one story height; distances increase by 5 ft. for each additional story. When adjacent principal structures differ in the number of stories, the required distance between structures shall be calculated based upon the taller of the structures.)	Front to front = 50 ft. Front to rear = 50 ft. End to end = 25 ft. End to rear = 30 ft. End to rear = 30 ft. (existing non-conformity)	>10 ft.
3	Where buildings exist in the same block, the setback line of the building to be constructed shall be at least the average of buildings constructed within the same block. In measuring to determine said building line, open porches shall not be construed as part of the building.	SEE FRONT YARD REGULATION TABLE	SEE FRONT YARD REGULATION TABLE
ARTICLE XVIII, SECTION 220-150: ACCESSORY STRUCTURES			
ITEM	ZONING REGULATION	REQUIRED	AVAILABLE / PROPOSED
1	No accessory structures allowed within a front setback	N/A	N/A
2	Structures accessory to a residential use shall be located within the rear yard or side yard setback of the principal building or structure no less than five feet from any rear or side lot line.	5 ft.	>5 ft.
3	No more than 2 storage/utility sheds are allowed on a residential lot	2 maximum	2
ARTICLE XX, SECTION 220-200: SCULPTURE REQUIREMENTS			
ITEM	ZONING REGULATION	REQUIRED	AVAILABLE / PROPOSED
1	Front yard landscaping of any nonresidential or multifamily units	At least 5% shall be landscaped	>10%
SALDO - ARTICLE X, SECTION 192: DESIGN STANDARDS AND REQUIRED IMPROVEMENTS			
ITEM	ZONING REGULATION	REQUIRED	AVAILABLE / PROPOSED
1	Minimum driveway separation	From ROW line of adjacent intersecting street = 40 ft. From property lines = 5 ft.	>40 ft. (existing non-conformity)

## LEGEND



© 2023  
608 SOUTH BROAD STREET  
608 SOUTH BROAD STREET  
CARLISLE, PA 17013  
717.261.3860

800.744.4141

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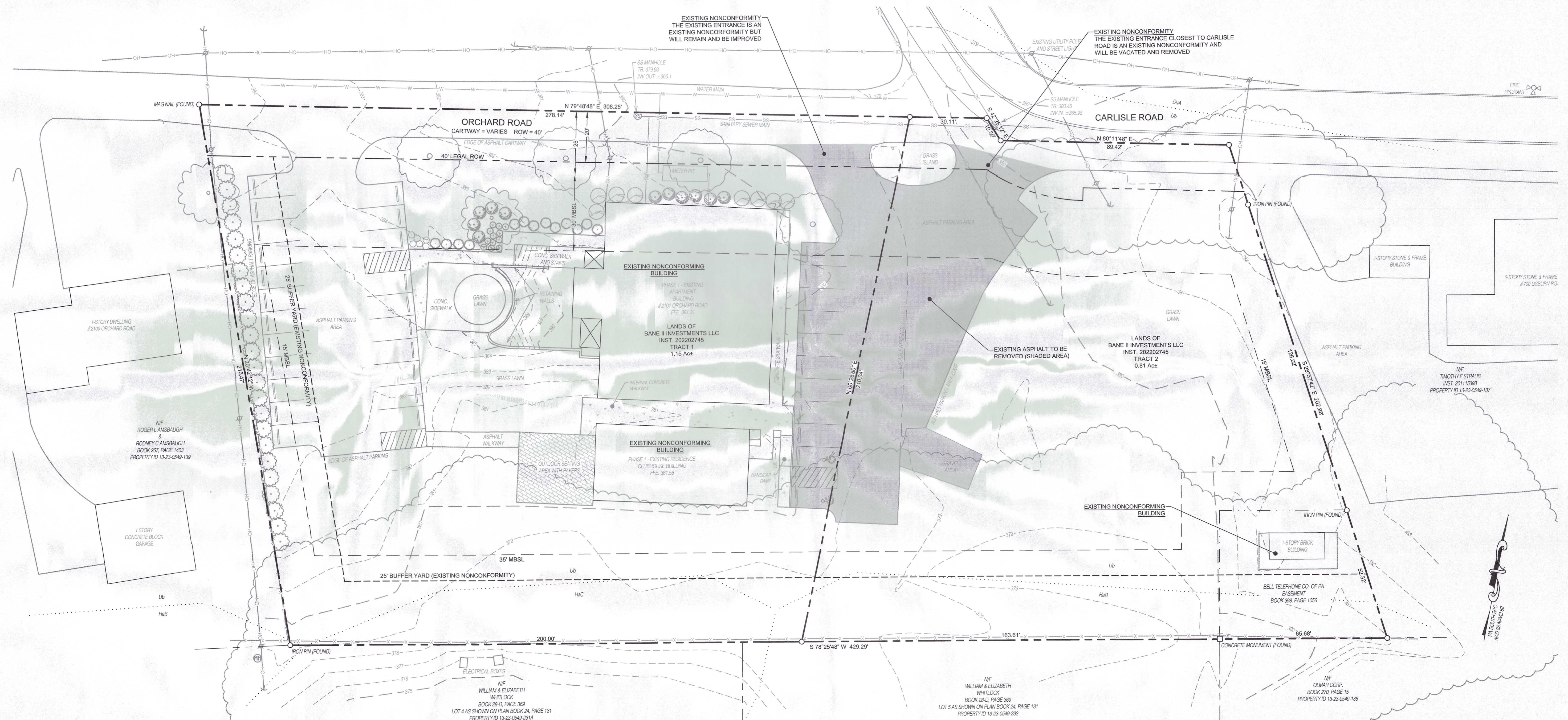
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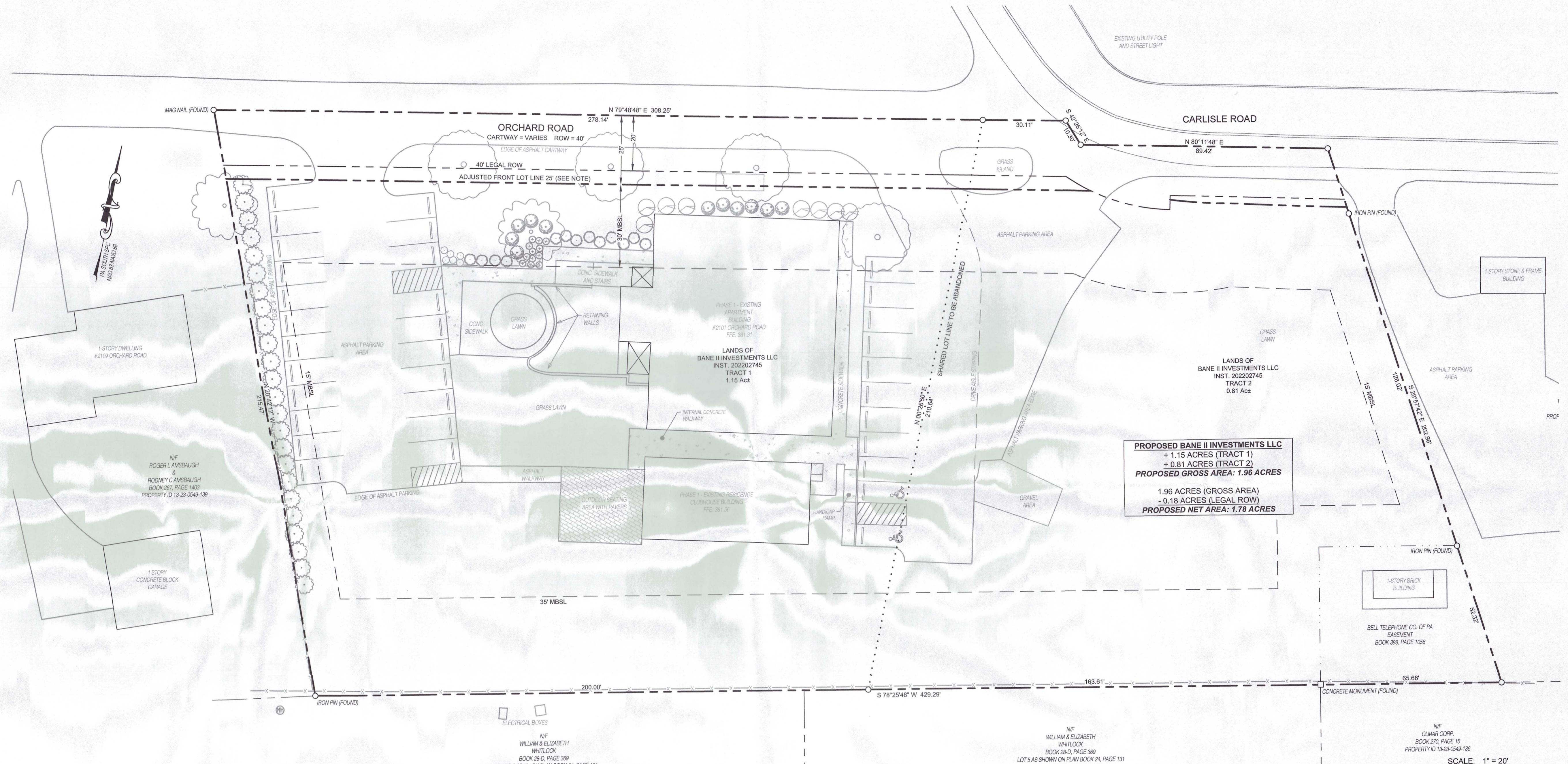
800.744.4141

800.744.4141

800.744.4141



**EXISTING NONCONFORMITY:**  
 The following is a list of zoning ordinance requirements that have been determined by Lower Allen Township to be existing non-conformities:  
 1. Article XIX, Section 220-202.A.1 = Requires a 25 ft. buffer yard adjacent to residential properties within the same zoning district.  
 2. Article XIV, Section 220-244.A.5, and SALDO Section 192-57.B.3.i.1 = Requires driveway entrances to be a minimum 40 ft. from right-of-way lines of intersecting streets.  
 3. Article XXI = Requires the labeling of all existing nonconforming structures.



LANDS OF BANE II INVESTMENTS LLC CALCULATIONS			
PROPERTY	CALCULATIONS	NEW TRACT SIZE	
BANE II INVESTMENTS LLC GROSS LOT AREA	1.15 ACRES 0.81 ACRES	TRACT 1 + TRACT 2	1.96 ACRES
BANE II INVESTMENTS LLC NET LOT AREA	1.96 ACRES - 0.18 ACRES	GROSS AREA - LEGAL ROW	1.78 ACRES

\* The calculated net area includes property outside of the legal right-of-way.

#### SUBDIVISION NOTES

1. THE PURPOSE OF THIS PLAN IS TO ABANDON THE COMMON LOT LINE BETWEEN TRACT 1 TRACT 2 AS DESCRIBED IN INSTRUMENT 202202745 AND AS SHOWN ON A PLAN TITLED "FINAL SUBDIVISION PLAN FOR HARTMAN & ASSOC., INC." DATED MARCH 28, 2000, REVISED ON APRIL 11, 2000, AND RECORDED AT PLAT BOOK 80, PAGE 144 AMONG THE LAND RECORDS OF CUMBERLAND COUNTY, PENNSYLVANIA.
2. LOWER ALLEN TOWNSHIP ORDINANCE 220-212-A STATES "Where the street or streets upon which the lots abut are less than 60 feet in width, the front yard depth and the width of the side yard abutting the street shall be measured from a line parallel to 25 feet from the center line of the street. In no case shall any structure interfere with the individually designated clear-sight triangles for lots abutting at street intersections."

## SPRING LAKE APARTMENTS

STATED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD  
CUMBERLAND COUNTY, PENNSYLVANIA  
Lower Allen Township, LLC c/o Mike Wehner  
10 Kasy Court, Mechanicsburg, PA 17055  
717.446.4141

84-2023

FSA  
FREDERICK SEIBER & ASSOCIATES, INC. • SURVEYORS • LAND PLANNERS  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND PLANNERS  
15 EAST MAIN STREET  
350 COOPER HOLLOW ROAD  
CARLISLE, PA 17013  
717.225.7529  
717.225.7529

DATE:

MARK:

DESCRIPTION:

PROF:

1

SCALE:

20  
0  
10  
20  
40

PROJECT NO. 2022-0012  
DRAWN BY DATE 6-29-2023  
CMH  
PROJECT MANAGER JTD  
EMAIL: jdt@fsainc.com

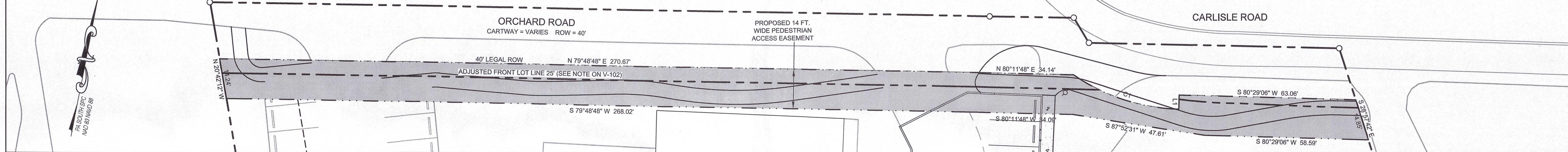
PROPERTY ID 13-23-0549-138  
SCALE 1" = 20'  
SHEET TITLE

SUBDIVISION PLAN  
V-102  
SHEET 04 OF 13

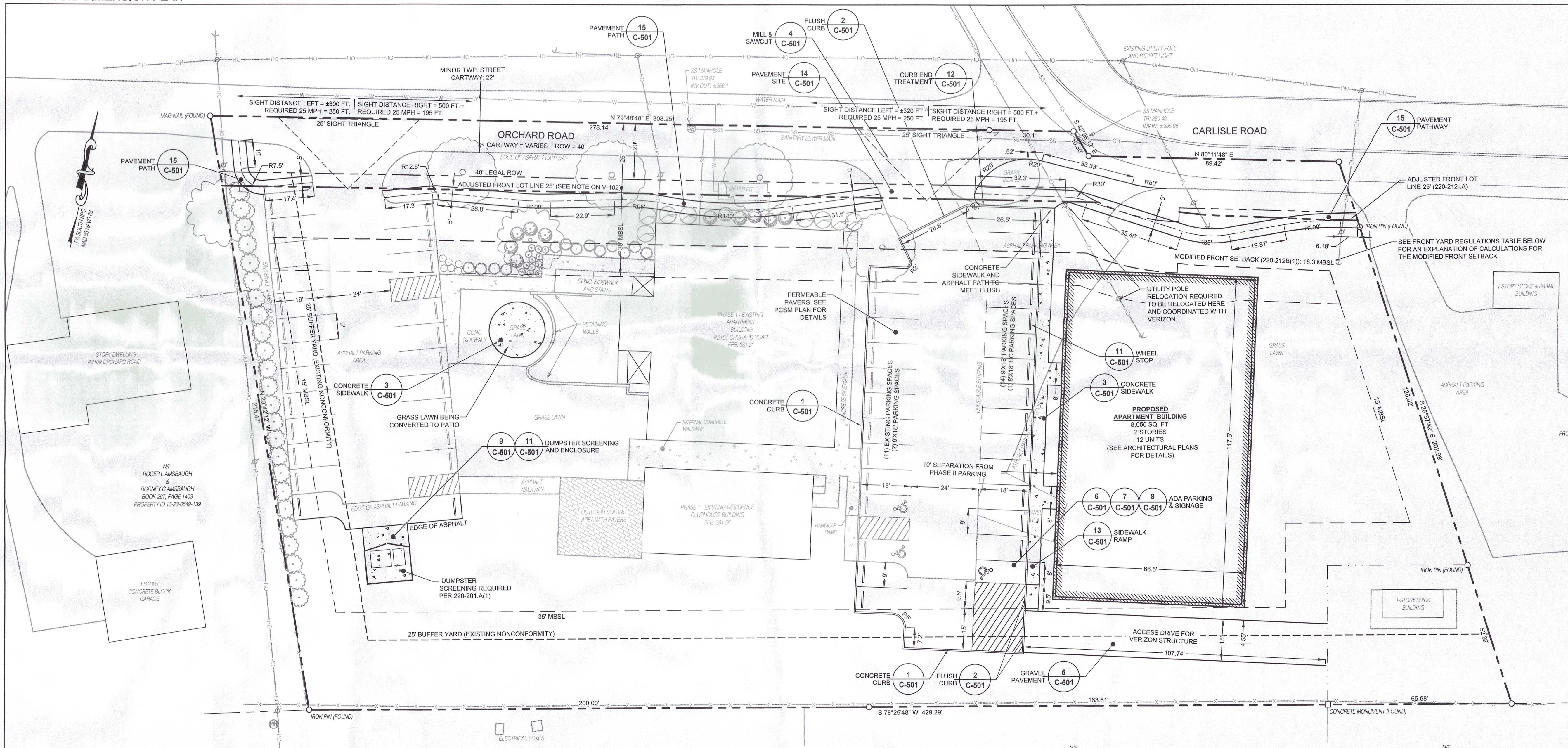
## PEDESTRIAN ACCESS EASEMENT PLAN

LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
L1	N 09°30'54" W	5.00'	C1	70.00'	40.00'	39.46'	S 83°08'34" E	32°44'40"

**PEDESTRIAN EASEMENT AREA**



## LAYOUT AND DIMENSION PLAN



## FRONT YARD REGULATIONS

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**ARTICLE XX. SECTION 220-212 B: YARD REGULATIONS**

ZONING REGULATIONS

Where buildings exist in the same block, the setback line of the building to be constructed shall be at least the average of buildings constructed within the same block. In measuring to determine said building line, open porches shall not be construed as part of the building.

BELOW ARE THE MEASUREMENTS AND CALCULATIONS FOR A MODIFIED FRONT SETBACK

BELOW ARE THE MEASUREMENTS AND CALCULATIONS FOR A MODIFIED FRONT SETBACK

	ADDRESS	DISTANCE FROM ORCHARD ROAD RIGHT-OF-WAY
	700 A Lisburn Road	7 ft.
	2101 Orchard Road	10.5 ft.
	2109 Orchard Road	30 ft.*
	2113 Orchard Road	30 ft.*
	2117 Orchard Road	14 ft.

*\*These distances have been established at 30 ft. because the buildings on these properties conform to the ordinance and meet and exceed the required 30 ft. front setback.*

	Required setback based on the average distance above = 18.3 ft.
	Minimum provided front setback distance = 18.8 ft.

**NOTES:**

1. The modified setback of 18.3 feet shown above is in reference to the relief provided under the Lower Allen Township Zoning Ordinance Section 220-212B(1).
2. See the "Front Yard Regulations" table on sheet C-002 Notes and Legends for the calculations and breakdown for this modified front setback.
3. All site traffic signs to be installed according to municipality standards. Contractor to coordinate with client on final layout and design of signage.
4. All site signage shall meet the requirements of Lower Allen Township sign ordinance Article XXV.

A scale bar diagram for a map. It features a horizontal line with tick marks and numerical labels. The labels are '20' at the far left, '0' in the center, '10' to the right of '0', '20' to the right of '10', and '40' at the far right. The segments between the labels are divided into smaller, unlabeled tick marks, representing 1' increments. The segments between the labeled '20's are each 20' long, and the segments between the labeled '10's are each 10' long.

# SPRING LAKE APARTMENTS

SITUATED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD  
LOWER ALLEN TOWNSHIP

# AKE APARTMENTS

ED SOUTH OF THE INTERSECTION  
LISLE ROAD AND ORCHARD ROAD  
WEB: ALLEN TOWNSHIP

# SPRING LAKE APARTMENTS

SITUATED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD

LOWER ALLEN TOWNSHIP  
CUMBERLAND COUNTY, PENNSYLVANIA

Bane II Investments, LLC c/o Mike Weidner  
10 Kasey Court, Mechanicsburg, PA 17055  
717.446.1141

PROJECT NO.		2022-0012
DWN BY	DATE	6-29-2023
CMH		
PROJECT MANAGER: JTD		
EMAIL: jtd@fca.ios.com		

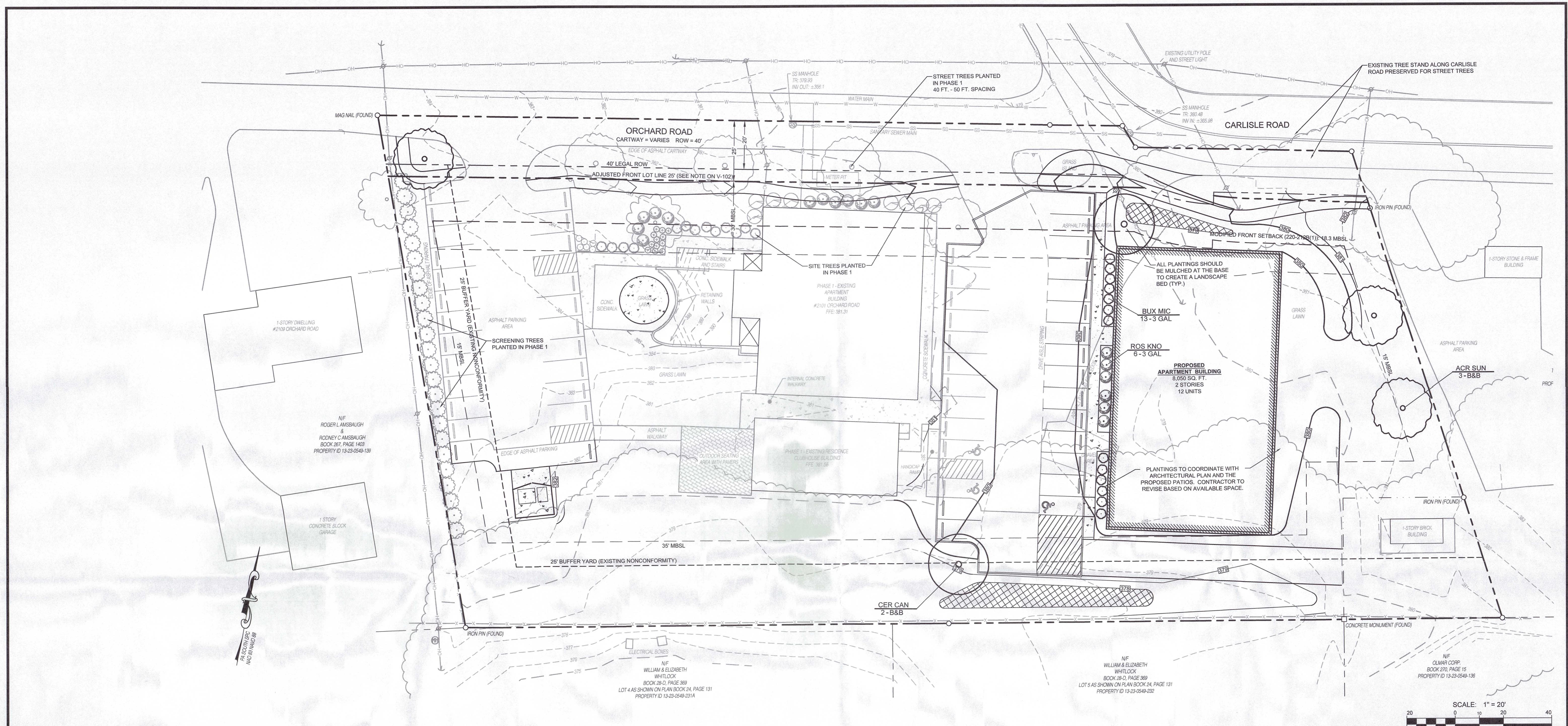
EMAIL: jody@isa-inc.com  
PROPERTY ID #  
13-23-0549-138  
SCALE  
1" = 20'  
SHEET TITLE

## LAYOUT & DIMENSION PLAN

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**C-101**  
**SHEET 05 OF 13**





# SPRING LAKE APARTMENTS

**SITUATED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD  
LOWER ALLEN TOWNSHIP  
CUMBERLAND COUNTY, PENNSYLVANIA**

<b>FREDERICK, SEIBERT &amp; ASSOCIATES, INC.</b> <b>CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS</b>	© 2023	<a href="http://fss-inc.com">fss-inc.com</a>
128 SOUTH POTOMAC STREET HAGERSTOWN, MD 21740	20 WEST BALTIMORE STREET GREENCASTLE, PA 17225	505 SOUTH HANOVER STREET CARLISLE, PA 17013
15 EAST MAIN STREET NEW BLOOMFIELD, PA 17068		

© 2023 **ARCHITECTS • LAND PLANNERS**  15 EAST MAIN STREET  
NEW BLOOMFIELD, PA 17068

**FREDERICK, SEIBERT & ASSOCIATES, INC.**  
**CIVIL ENGINEERS • SURVEYORS • LANDSCAPE**


# ROAD P NSYLVANIA

OF CARLISLE ROAD AND ORCHARD R  
LOWER ALLEN TOWNSHIP  
CUMBERLAND COUNTY, PENN

2022-0012

DATE
6-29-2023

AGER: JTD  
@fsa-inc.com  
4  
38  
 $1'' = 20'$   
**LANDSCAPE  
PLAN**  
**-101**  
T 07 OF 1

-101  
T 07 OF 1

#### GENERAL LANDSCAPE NOTES:

- GENERAL LANDSCAPE NOTES:**

  1. Landscape contractor is to call PA One Call and have all underground utilities marked prior to any digging or planting.
  2. Landscape Contractor shall install all plant material in a timely fashion.
  3. Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
  4. NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
  5. Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
  6. All plants shall be watered thoroughly during installation and prior to final acceptance.
  7. All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
  8. All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
  9. Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
  10. Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
  11. All plant material shall be warranted for one year. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
  12. The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.  
Fertilizer Products are to be Nutri-Dek 16-0-0 or approved equal per manufacturer's recommendations.

#### MAINTENANCE

- Maintenance:**

  1. Owner to remove silt/sediment if the accumulation of sediment exceeds one inch over the biorentention area.
  2. All trash and debris should be removed from the top of the bioretention area as necessary.
  3. Areas devoid of mulch shall be re-mulched on an annual basis.
  4. All areas of turfgrass that have been disturbed from construction or is not growing properly should be seeded with an appropriate grass seed mix.

SELECTIVELY PRUNE CROWN  
RETAIN NATURAL SHAPE OF P  
DO NOT CUT CENTRAL LEADE

APPLY APPROVED TREE WRAP  
ON CLEAR TRUNK.

TWO GALVANIZED NO. 12 WIRE  
GUYS, FASTEN TO WOODEN S  
PLACE REINFORCED RUBBER  
ON WIRE AT ALL POINTS OF T  
CONTACT.

3" SHREDDED BARK MULCH (I

CLEAN AMENDED BACKFILL

4" TALL, 48" DIAMETER EARTH  
SAUCER AROUND TREE.

SCARIFY SIDES BEFORE PLANT

REMOVE BURLAP FROM TOP  
ROOT BALL.

FERTILIZER PACKETS  
SEE NOTE 13 IN LANDSCAPE

MINIMUM 2" x 2" x 6' TREATED  
WOOD STAKE, 2 PER TREE.  
DRIVE STAKE AT ANGLE AND  
DRAW VERTICAL.

TOPSOIL MIXTURE TAMPED F  
TO PREVENT SETTLEMENT.

UNDISTURBED SOIL

18" MIN.  
3' 0"  
6"  
4"  
9"  
9"  
PLANT BALL

# SMALL TREE PLANTING (UP TO 2-1/2" CAL.)

# CONTAINER SHRUB PLANTING

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NOT TO SCALE

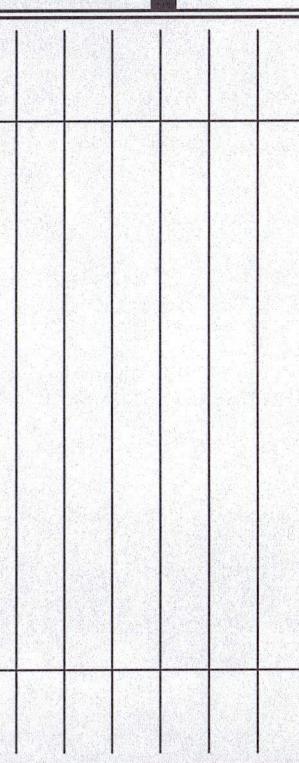
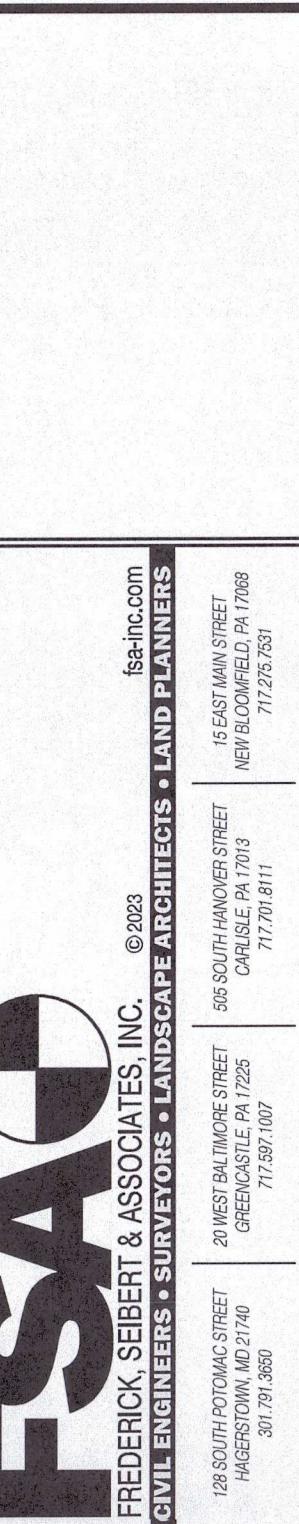
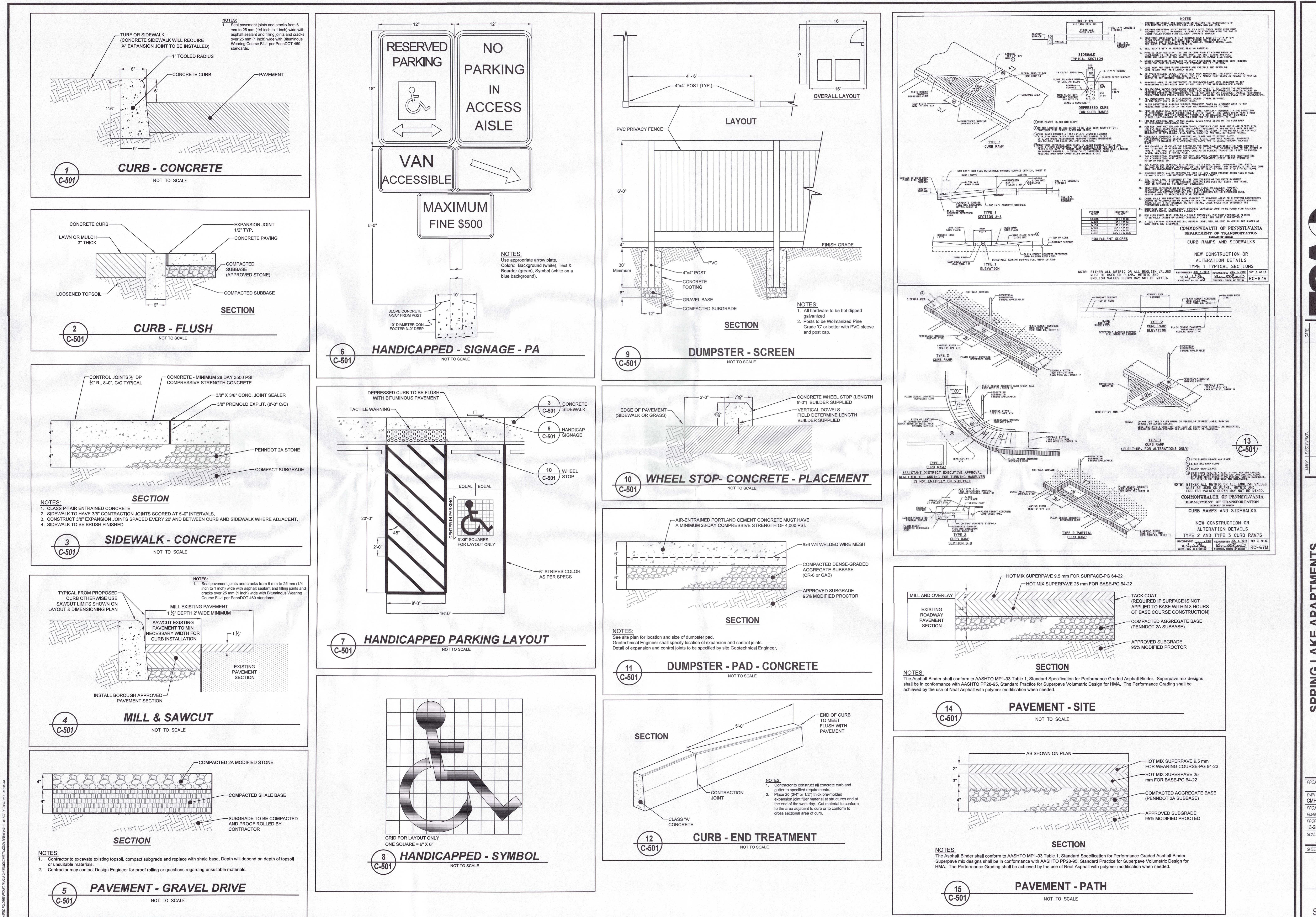
#### PLANTING SQUERIFFE

CODE	QTY	COMMON NAME/ BOTANICAL NAME	CONT.	SIZE	DETAIL	REMARK / NOTE
<b>DECIDUOUS TREES</b>						
ACR SUN	3	Red Sunset Red Maple / <i>Acer rubrum</i> 'red sunset'	B&B	2" -3" cal.	1/L-101	
<b>SHRUBS</b>						
BUX MIC	13	Winter Gem Boxwood / <i>Buxus microphylla</i> <i>japonica</i> 'winter gem'	3 gal		2/L-101	
ROS KNO	6	Knockout Rose / <i>Rosa</i> 'knockout'	3 gal		2/L-101	

## HERBACEOUS PLANTING SCHEDULE

	QUANTITY		BOTANICAL NAME	COMMON NAME	SIZE	
	AREA	PLUGS				
	FRONT POND - 250 SF					
	REAR POND - 750 SF					
<b>MIXED PERENNIALS</b>		<b>MIXED GRASSES</b>			Contractor to seed and straw using a native perennial meadow and wildflower seed mixture (sun tolerant). See example mixtures under the charts on the left. Contractor to contact local nurseries for best mixtures most suited to the regional climate and what's available at the time of planting. Other plant species specified in stormwater best management practices manuals are permitted.	
COMMON NAME	SCIENTIFIC NAME	COMMON NAME	SCIENTIFIC NAME			
Aster, New England	<i>Aster novae-angliae</i>	Rush, soft	<i>Juncus effusus</i>			
Butterflyweed	<i>Asclepias tuberosa</i>	Sedge, broom	<i>Carex scoparia</i>			
Cardinal Flower	<i>Lobelia cardinalis</i>	Sedge, Pennsylvania	<i>Carex pennsylvanica</i>			
Coneflower, orange	<i>Rudbeckia fulgida</i>	Switchgrass	<i>Panicum virgatum</i>			
Trumpetweed	<i>Eupatorium fistulosum</i>					
Phlox, meadow	<i>Phlox maculata</i>					

Contractor to seed and straw using a native perennial meadow and wildflower seed mixture (sun tolerant). See example mixtures under the charts on the left. Contractor to contact local nurseries for best mixtures most suited to the regional climate and what's available at the time of planting. Other plant species specified in stormwater best management practices manuals are permitted.



LOWER ALLEN TOWNSHIP  
CUMBERLAND COUNTY, PENNSYLVANIA

17.446.4 | 4 |

fsa-inc.com  
**PLANNERS**  
MAIN STREET  
MFIELD, PA 17068  
(215) 753-31

LAND  
15 EAST  
NEW BLO  
717

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ARCHITECTS •  
171 HANOVER STREET  
FRISLIE, PA 17013  
717.701.8111

505 SOL  
CA  
MORE STREET  
LE, PA 17225  
7.11007

ERT & ASSOC.  
• SURVEYOR  
20 WEST BALTIMORE  
GREENCASTLE  
717.55

RICK, SEIBEL  
ENGINEERS •  
10TH POTOMAC STREET  
ELSTON, MD 21740  
(301) 791-3650

**FREDE  
CIVIL E  
128 SOU  
HAGE**

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1

A 2x4 grid of lines, consisting of two horizontal lines and four vertical lines, used for drawing a rectangle.

ANIA

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INSYLVIA  
leidner  
17055

LLC c/o Mike W  
Mechanicsburg, PA  
6.4.141

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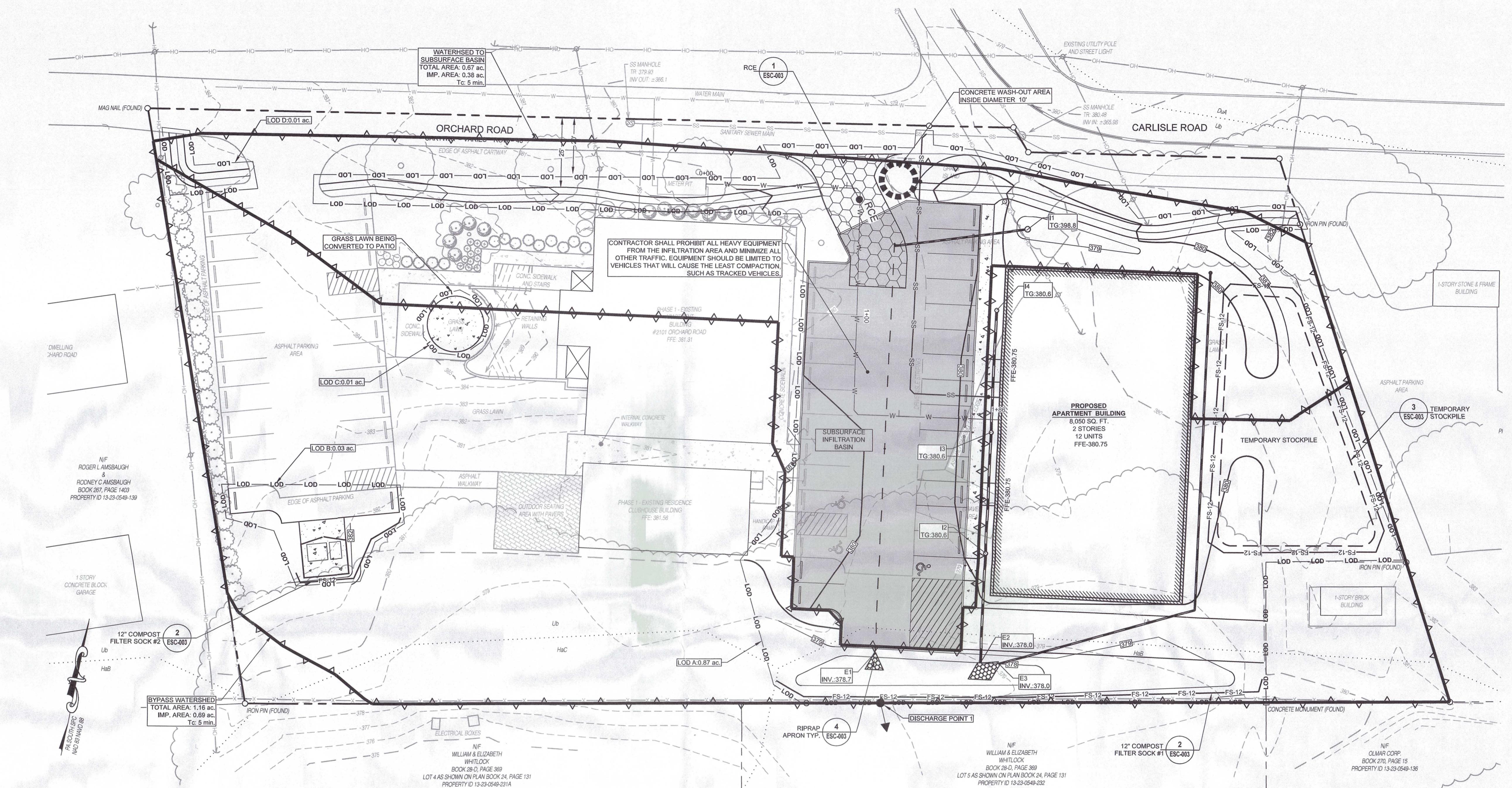
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## TE AIL S

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08 OF 13



#### SEQUENCE OF CONSTRUCTION

A copy of the erosion and sediment control narrative shall be provided to the contractor. Contractor is to familiarize him/herself with the erosion and sediment control narrative and plans prior to construction.

Contractor shall contact Cumberland County Conservation District (717-240-7812), Lower Allen Township (717-975-7575) and Frederick, Selbert and Associates (717-701-8111) at least seven (7) days prior to the start of construction to schedule a preconstruction meeting.

Contractor to notify the PA One Call System (1-800-242-1776) for the location of existing underground utility at least three (3) days prior to starting any earth disturbance activities.

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed and immediately stabilized before any following stage is initiated. Clearing, grubbing and topsoil stripping shall be limited only to those areas described in the narrative. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate the potential for accelerated erosion and/or sediment pollution. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, over undisturbed vegetation areas or embankment slopes, protected from water runoff. As soon as slopes, channels, ditches and other disturbed areas reach final grade they must be stabilized. This site is in a special protection watershed, upon completion or temporary cessation of earth disturbance activity that portion of the site must be immediately stabilized. As disturbed areas within a project approach final grade, preparations should be made for seeding and mulching to begin. In no case should an area exceeding 15,000 square feet, which is to be stabilized by vegetation, reach final grade without being seeded and mulched.

NOTE: The following sequence is written with the assumption that construction has commenced on the Master Subdivision for Smith Farm Partners. The road and infiltration basin have been installed and the proper ESC BMP's will be installed to prevent erosion into the infiltration basin and the tracking mud onto the road.

1. Field identify/stake the limits of disturbance and proposed ESC/PCM BMPs.
2. Install rock/entrance entrance.
3. Install perimeter filter barriers (compost filter socks #1 & #2).
4. Strip topsoil within the limits of disturbance, stockpile, place filter barrier around the low side of the stockpile and stabilize.
5. Rough grade site.
6. Trench and install sanitary sewer and water lines where shown.
7. Build building pad up to grade.
8. Install filter socks along curb and trench for constructing subsurface infiltration basin.
9. Install roof drains and connect to the infiltration basin.
10. When basin is completed to grade, install concrete curb, sub-base, and permeable pavers respectively to bring parking lot to final grade.
11. Install riprap downstream of subsurface infiltration basin underdrain.
12. Complete fine grading of site and construct entrance improvements.
13. Stabilize disturbed areas.
14. Graded topsoil at a depth of 6 inches to be covered with matting, as shown and per the permanent seeding specifications.
15. RCE to be removed, grading to finish Vegetated Swales, and remainder of erosion control blanket to be removed until a minimum uniform 70% perennial vegetative cover is well-established across the entire upslope contributing drainage area. All areas proposed to be paved must be paved or have a compacted stone base in place.
16. Disturbed areas shall be stabilized and any affected BMP's must be repaired immediately. Temporary BMP's may not be removed until a minimum uniform 70% perennial vegetative cover is well-established across the entire upslope contributing drainage area. All areas proposed to be paved must be paved or have a compacted stone base in place.
17. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operators shall contact the Cumberland County Conservation District for a final inspection prior to the removal of any remaining BMPs.

#### Critical Stages of Implementation/Stormwater Management BMP Construction Observations

A licensed professional or designer shall be present on-site to inspect the critical stages of implementation of the PSCM Plan. The following critical stages of implementation shall be inspected (see Sequence of Construction for proper implementation):

- Construction of Subsurface MRC BMP
  - to ensure basin size and shape
  - to ensure subgrade to be uncompacted
  - to ensure proper installation of underdrain system, outlet structure, and drain connection

#### LEGEND

18"FS	- FILTER SOCK (SIZE NOTED)
	- RIP RAP STABILIZATION
	- SWALE/SPILLWAY MATTING
	- SLOPE MATTING (STeeper than 3:1)
NPDES	- NPDES BOUNDARY
LOD	- LIMIT OF DISTURBANCE
△	- WATERSHED BOUNDARY
▽	- SWALE WATERSHED BOUNDARY
OPF	- ORANGE PROTECTIVE FENCE
RCE	- ROCK CONSTRUCTION ENTRANCE
	- EXISTING CONTOURS
+606.0	- EXISTING TEXT
+589.1	- FINISHED GRADE SPOT ELEVATION
600	- FINISHED GRADE INTERMEDIATE CONTOUR
598	- FINISHED GRADE INDEX CONTOUR
	- TEMPORARY GRADING
F.B.I.P.	- FILTER BAG INLET PROTECTION
	- SOIL BOUNDARY

TOTAL LOD: 0.92 ac.

#### LOD TABLE

LOD A	0.87 ac.
LOD B	0.03 ac.
LOD C	0.01 ac.
LOD D	0.01 ac.
<b>TOTAL</b>	<b>0.92 ac.</b>

SCALE: 1" = 20'  
20 0 10 20 40

A copy of the Erosion and Sediment Control Plan/Narrative shall be provided to the contractor. Contractor is to familiarize him/herself with the erosion and sediment control narrative and plans prior to construction.

## SPRING LAKE APARTMENTS

STATED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD  
CUMBERLAND COUNTY, PENNSYLVANIA

Bare Investments, LLC c/o Mike Wehrer  
101 Kasy Court, Mechanicsburg, PA 17055

Professional Corporation  
I hereby certify that the documents were prepared or approved by me, and I am a duly licensed professional under the laws of the State of Pennsylvania, license #259803  
Expiration Date: 08-08-2023

FE-SA, INC.  
FREDERICK, SELBERT & ASSOCIATES, INC.  
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS  
15 EAST MAIN STREET  
365 SOUTH HANOVER STREET  
CARLISLE, PA 17013  
717.225.7539  
fe-sa.com  
DATE: \_\_\_\_\_  
LARK: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_

PROJECT NO: 2022-0012  
DRAWN BY: CMH DATE: 6-29-2023  
CMH PROJECT MANAGER: JTD  
EMAIL: jtd@fsa-inc.com  
PROPERTY #: 13-23-0549-138  
SCALE: 1" = 20'  
SHEET TITLE: ESC PLAN

ESC PLAN  
ESC-001  
SHEET 09 OF 13

#### STANDARD E&S PLAN NOTES

1. A copy of the stamped approved drawings signed and dated by the Cumberland County Conservation District must be available at the project site at all times.
2. At least 3 days prior to starting any earth disturbance activities (including clearing and grubbing), the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S Plan preparer, the post construction stormwater management plan preparer, and a representative from the Cumberland County Conservation District to an on-site preconstruction meeting.
3. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
4. All earth disturbance activities shall be limited to those areas delineated on the approved drawings. Deviations from that distance must be approved in writing from the Cumberland County Conservation District or by DEP prior to implementation.
5. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the Construction Sequence for that stage or phase have been installed and are functioning as described in this document.
6. At no time shall construction vehicles be allowed to travel areas outside the boundaries of disturbance boundaries shown on the plan maps.
7. Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2H:1V or flatter.
8. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate BMPs to minimize the potential for erosion and sediment pollution and notify the Cumberland County Conservation District and/or the regional office of DEP.
9. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code Chapter 260, §620.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
10. All off-site waste and borrow areas must have an E&S Plan approved by the Cumberland County Conservation District or DEP fully implemented prior to being activated.
11. The contractor is responsible for ensuring that any material brought on site is Clean Fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as Clean Fill due to analytical testing.
12. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
13. Vehicles and equipment may neither enter directly nor exit directly from Lots onto Public Streets except where shown.
14. Until the site is stabilized, all E&S BMPs must be maintained properly. Maintenance shall include inspections of all E&S BMPs after each runoff event and on a weekly basis. All corrective and maintenance work, including repair, replacement.
15. The permittee and co-permittee shall immediately contact the reviewing entity, by phone or personal contact, followed by the submission of a written report to the DEP within 5 days of the initial contact. Noncompliance reports shall include the following information:
- (1) Any condition on the project site which may endanger public health, safety, or the environment, or involve incidents which cause or threaten pollution;
- (2) the period of noncompliance, including exact dates and times and/or anticipated time when the activity will return to compliance;
- (3) steps taken to reduce, eliminate, and prevent recurrence of the noncompliance; and
- (4) the date or schedule of dates, and identifying remedies for correcting noncompliance conditions.
3. RECORD KEEPING
- a. Retention of Records The permittee and co-permittee shall retain records of all monitoring information including copies of all monitoring and inspection reports required by the permit and records of data used to complete the Notice of Intent for this permit, for a period of three years from the date of the termination of coverage under this permit.
- b. Reporting of Monitoring Results Monitoring results shall be submitted to the reviewing entity upon request.

#### ADDITIONAL NOTES

1. All channels shall be kept free of obstructions including but not limited to fill rocks, leaves, woody debris, accumulated sediment, excess vegetation, and construction materials/wastes. The channel shall be initially over-excavated to allow for the placement of topsoil.
2. Under-drain utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base flow within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.
3. Channels having Riprap, Reno Mattress, or Gabion linings must be sufficiently over-excavated so that the design dimensions will be provided after placement of the protective lining.

#### EROSION CONTROL MATTING SPECIFICATIONS

1. On slopes 3:1 and steeper or where concentrated flow occurs, an erosion control blanket shall be installed. No slope shall be cut steeper than 2:1.
2. The erosion control blanket required for channels, swales, or ditches shall be as shown in the respective channel, swale, or ditch detail.
3. The erosion control blanket required for stabilization of general slopes 3:1 and steeper shall be: North American green s150.
4. North American green s150 is an erosion control blanket product which is adequate to stabilize a 2:1 slope which is up to 50 feet in length. Any disturbed slope 3:1 and steeper which is longer than 50 feet may require a different erosion control blanket product. Should this situation occur, contact the county conservation district for direction.

#### Pipeline and Utility Line Erosion and Sediment Control Notes

1. All disturbed areas placed on the high side of trench. Excess material shall be hauled away to a site with an approved Erosion and Sediment Control Plan.
2. All Erosion & Sediment Control measures that are disturbed/damaged shall be repaired the same day.
3. The total length of excavated trench open at any one time should not be greater than the total length of pipeline/utility line that can be placed in the trench and back-filled in one working day.
4. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the workday.
5. Soil supplements, seed and mulch shall be applied within seven days after the pipeline/utility line is installed.
6. Erosion & Sediment Control devices shall be inspected daily and maintained in working condition.

#### SITE CONSTRUCTION RECOMMENDATIONS KARST RELATED - GENERAL RISKS

1. Earthwork operations should be graded to drain from structures at all times. Upon completion of daily earthworks operations, the ground surface should be graded by thorough rolling to reduce infiltration of precipitation and facilitate runoff.
2. Sediment control measures should be located outside of planned construction areas. Inlets associated with storm drain systems should not be utilized as a temporary sediment control devices during construction.
3. During construction, care should be taken to reduce the piping of surface water in and/or adjacent to the buildings. The foundations should be excavated and poured the same day, if possible, or the backfilling soils should be provided with a mud mat (lean concrete).
4. Visual observations during all earthwork operations should be made to determine if any previous unexposed or recently created collapse features. Such feature should be called to E&S' attention for potential impairment.
5. Final site grading should include sloping grades and piping of downspouts away from the building.
6. Storm piping should be designed such that joints and structure tie-ins remain watertight with allowance for some settlement. Leaking storm pipes promote subsurface seepage and can instigate sinkhole development in the form of surficial dropouts with little or no warning. It may be beneficial to use bentonite clay around all pipe joints to reduce the potential for long-term leaking.

**A copy of the Erosion and Sediment Control Plan/Narrative shall be provided to the contractor. Contractor is to familiarize him/herself with the erosion and sediment control narrative and plans prior to construction.**

#### NPDES PERMIT EFFLUENT LIMITATIONS, MONITORING AND REPORTING REQUIREMENTS

2. MONITORING AND REPORTING REQUIREMENTS
  - a. Visual Inspections The permittee and co-permittee must ensure that visual site inspections are conducted weekly, and after each precipitation event by qualified personnel, trained and experienced in erosion and sediment control, to ascertain that the BMPs are operational and effective in preventing pollution to the waters of the Commonwealth. A written report of each inspection shall be kept, and include:
    - (1) a summary of site conditions, BMPs, and compliance; and
    - (2) the date, time, and the name of the personnel performing the inspection;
    - (3) steps taken to reduce, eliminate, and prevent recurrence of the noncompliance; and
    - (4) the date or schedule of dates, and identifying remedies for correcting noncompliance conditions.
  - b. RECORD KEEPING
  - c. Retention of Records The permittee and co-permittee shall retain records of all monitoring information including copies of all monitoring and inspection reports required by the permit and records of data used to complete the Notice of Intent for this permit, for a period of three years from the date of the termination of coverage under this permit.
  - d. Reporting of Monitoring Results Monitoring results shall be submitted to the reviewing entity upon request.

#### PART B STANDARD CONDITIONS

##### a. DUTY TO PROVIDE INFORMATION

- (1) The permittee and co-permittee shall furnish to the Department, or the local county conservation district when acting as the reviewing entity, copies of all records required by this permit.
- (2) The permittee or co-permittee shall furnish, upon request, to the Department, or the local county conservation district when acting as the reviewing entity, copies of records required to be kept by this permit.
- (3) When the permittee or co-permittee becomes aware that he or she failed to submit any relevant tests or submitted incorrect information in the NOI, PPC, Plan, E&S Control Plan, or any other required document to the Department, or the local county conservation district when acting as the reviewing entity, copies of records required to be kept by this permit.
- (4) The permittee or co-permittee shall give seven calendar days advance notice to the Department, or the local county conservation district when acting as the reviewing entity, of any planned physical alterations or additions to the permitted facility which could, in any way, substantially affect the quality and/or quantity of stormwater discharged from the activity.

##### f. Facilities Construction, Operation, and Maintenance

- The permittee and co-permittee shall design, build, implement, and at all times operate and maintain BMPs, including PPC Plans, E&S Control Plans, and any other stormwater pollution prevention and management measures.
- g. Adverse Impact

The permittee and co-permittee shall take all reasonable steps to minimize or prevent any discharge in violation of this permit which has a reasonable likelihood of adversely affecting human health or the environment.

##### h. Restoration, Loss, or Failure of the BMPs

Upon destruction, loss, or failure of the BMPs, the permittee and co-permittee shall take immediate action to restore the BMPs or provide an alternative method of treatment.

##### 2. COMPLIANCE RESPONSIBILITIES

###### a. DUTY TO COMPLY

The permittee and co-permittee must comply with all terms and conditions of this general permit. Any permit noncompliance constitutes a violation of the Pennsylvania Clean Streams Law and the federal Clean Water Act and is grounds for enforcement action, for permit termination, revocation and reassessment, or modification; or denial of a permit or permit renewal.

###### b. Penalties for Violations of Permit Conditions

The permittee and co-permittee may be subject to criminal and/or civil penalties for violations of the terms and conditions of this general permit under Section 602 and 605 of the Clean Streams Law, 35 Pa. Code, Sections 691.602 and 691.605, and under the Clean Water Act as specified under 40 C.F.R. Sections 122.41 (a)(2) and (3), which are incorporated by reference.

###### c. OTHER CONDITIONS

##### 2. EROSION AND SEDIMENT CONTROL PLANS

a. Erosion and Sediment Control Plans shall be prepared, developed, and implemented for each activity covered by this permit in accordance with the Department's Chapter 102 Rules and Regulations, and Department guidance. Each plan must be submitted to the Department or local county conservation district when acting as the reviewing entity, E&S Control Plans, BMPs, and revisions thereto, which meet the requirements of Chapter 102, are conditions of this permit and incorporated by reference.

b. Erosion and Sediment Control Plans required under this permit are considered reports that shall be available to the public under Section 607 of the Clean Streams Law and 25 Pa. Code, Chapter 92 of the Department's regulations. The owner or operator of a facility with stormwater discharges covered by this permit shall make these reports available to the public upon request by the public. Erosion and Sediment Control Plans must be available at the site of the construction activity at all times.

c. The staging of earth disturbance activities and maintenance requirements contained in the E&S Plan must be followed.

d. RECYCLING AND DISPOSAL OF BUILDING MATERIALS AND WASTES

All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code, Sections 691.260.1 et seq., 271.1 et seq., and section 287.1 et seq. No building material or waste or unused building materials shall be burned, buried, dumped or discharged at the site.

e. PREPAREDNESS, PREVENTION AND CONTINGENCY PLANS

If the potential exists for causing accidental pollution of air, land, or water, or for causing endangerment of public health and safety through accidental release of toxic, hazardous, or other polluting materials, the permittee or co-permittee shall develop a preparedness, prevention, and contingency Plan. The Plan shall be developed in accordance with Department regulations. The PPC Plan shall identify areas which may be impacted and not limited to, water storage areas, raw material storage areas, temporary and permanent spills storage areas, maintenance areas, and other areas that may have the potential to cause noncompliance with the terms and conditions of this permit due to storage, handling, or disposal of any toxic or hazardous substances such as oil, gasoline, pesticides, herbicides, solvents, etc. BMPs shall be developed and implemented for each identified area. The PPC Plan shall be maintained on site at all times and shall be made available to relevant county or Department or county conservation districts' request.

f. PROTECTION OF CONSTRUCTION CEREMONY

The permittee or co-permittee shall contact the reviewing entity at least seven days before construction is to begin to determine if a pre-construction conference is required. The permittee or co-permittee and others undertaking the earth disturbance activity must attend a pre-construction conference if requested by the reviewing entity.

##### g. SPOIL OR BORROW AREA

The Erosion and Sediment Control Plan, shall be prepared, developed and implemented for all spoil and borrow areas, regardless of their location.

h. PHASED PROJECTS Prior to the commencement of earth disturbance activities for additional phases or portions of the project, the permittee or co-permittee shall submit an Erosion and Sediment Control Plan for each additional phase or portion of the project for review and approval by the reviewing entity. Construction under this permit is granted for those phases or portions of a project for which an Erosion and Sediment Control Plan has been submitted and authorized by the reviewing entity.

i. 10. WETLAND PROTECTION If hydrolic soils are present, a wetland determination must be conducted in accordance with Department procedures. All wetlands identified must be included on the E&S Control Plan.

##### SEEDING/STABILIZATION NOTES

1. As disturbed areas within a project approach final grade, preparations should be made for seeding and mulching to begin. Topsoil should be resped at a depth of 6". In no case should an area exceeding 15,000 square feet, which is to be stabilized by vegetation, reach final grade without being seeded and mulched.

2. Temporal seeding (permanent stabilization)

Soil: annual ryegrass 40 lbs/acre  
Fertilizer: 10-10-10 @ 500 lbs/acre

Mulch: straw 3 tons/acre, (straw and hay mulch should be anchored immediately after application to prevent being windblown. A tractor-drawn implement may be used to "crimp" the straw or hay into the soil. This method is limited to slopes no steeper than 3:1. The machinery should be operated on the contour. Note: crimping of hay or straw by running over it with tracked machinery is not recommended.)

Line: one ton/acre

All diversions, channels, sediment traps and shall be stabilized immediately. Any disturbed area on which activity has ceased and which will remain shall be stabilized immediately. During non-germinating periods, mulch shall be applied at the recommended rates. Disturbed areas which are not at finished grade and which will be re-tilthred within 1 year may be stabilized in accordance with the temporary seeding specifications. Disturbed areas which are either at finished grade or will not be re-tilthred within 1 year shall be stabilized in accordance with the permanent seeding specifications.

3. Permanent seeding (permanent stabilization)

Nurse crop: annual ryegrass 10 lbs/acre (pls)

Seed (mix 2): kentucky bluegrass 25 lbs/acre, plus redtop 3 lbs/acre or perennial ryegrass 15 lbs/acre (pls)

Critical areas (mix 3): birdfoot trefoil 6 lbs/acre, plus tall fescue 30 lbs/acre (pls)

Line: six tons/acre

Fertilizer: soil tests are recommended. In the absence of a soil test apply at the rate of 10-10-20 @ 1000 lbs/acre

Mulch: straw 3 tons/acs

Asphalt: ss-1 or equivalent 150 gal/acre

4. Seed date

March 15th - may 15th

August 15th - October 15th

All areas shall be permanently seeded and mulched within one (1) week of reaching final grade, if in seeding season, otherwise temporary seeding requirements shall be met. All areas seeded with a temporary mix will receive a permanent seed mixture during the first growing season following the finished grading. Areas with permanent slopes of 2:1 or greater shall be stabilized using crown vetch, as per the requirements of standard and specifications for critical areas stabilization (with ground covers, vines, shrub, and trees).

MULCH APPLICATION RATES

Mulch Type	Application Rate (Min.)			Notes
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Straw	3 Tons	140 lbs.	1,240 lbs.	Either straw or straw, free of weeds, not chopped, or finely broken.
Hay	3 Tons	140 lbs.	1,240 lbs.	Timothy, mixed clover and timothy, or timothy and red grasses
Wood Cellulose	1,500 lbs.	35 lbs.	310 lbs.	Do not use alone in winter, or in areas with high water or on slopes >3:1
Wood	1,000 lbs. Cellulose	25 lbs.	210 lbs.	When used over straw or hay
Wood Chips	4-6 Tons	185-275 lbs.	1,650-2,500 lbs.	May prevent germination of grasses and legumes

Tackling notes:  
Straw and hay mulch should be anchored immediately after application to prevent being windblown. A tractor-drawn implement may be used to "crimp" the straw or hay into the soil. This method is limited to slopes no steeper than 3:1. The machinery should be operated on the contour. (Note: crimping of hay or straw by running over it with tracked machinery is not recommended.)

Polymeric and gum tackifiers mixed and applied according to manufacturer's recommendations may be used to tack mulch.

Synthetic binders, or chemical binders, may be used as recommended by the manufacturer to anchor mulch provided sufficient documentation is provided to show they are non-toxic to native plant and animal species.

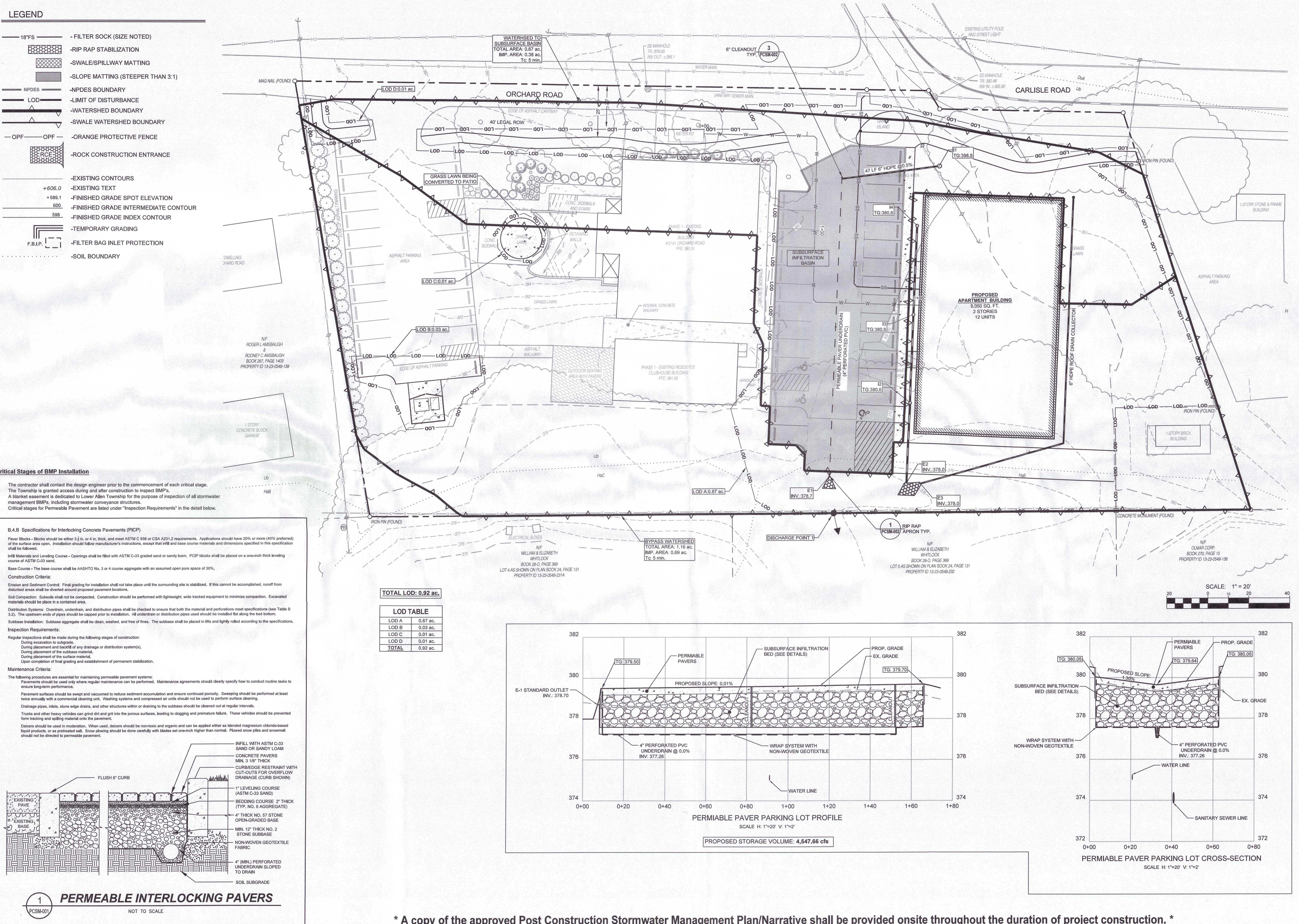
#### TOPSOIL APPLICATION

Graded areas should be scarified or otherwise loosened to a depth of 3 to 5 inches to permit bonding of the topsoil to the surface areas and to provide a roughened surface to prevent topsoil from sliding down slope.

Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 8 inches minimum (2 inches on fill outcrops). Spreading should be done in such a manner that sodding of seed can proceed with a minimum of additional preparation of tillage. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the post construction stormwater management plan.

Topsoil should not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.





## Contractor Notes

- The contractor shall be responsible for obtaining any required permits for the construction proposed on this plan.
- The contractor shall be responsible for the replacement of any damaged or destroyed existing site features that are to remain.
- All improvements shall meet the requirements of Lower Allen Township.
- The contractor shall be responsible for all traffic control, trench barriaging, covering, sheeting and shoring, in accordance with applicable federal, state and local requirements.
- The location of existing underground utilities must be field verified by the contractor prior to construction, excavation and blasting.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage done due to the contractor's negligence shall be immediately and completely repaired at the contractor's expense.
- The contractor shall legally dispose of all underground and above ground structures, features, and materials as required for the construction of the improvements shown on this plan.
- The contractor shall ensure the positive drainage away from all buildings.
- The contractor shall coordinate any and all utility service extensions/terminations with the utility owner.
- The contractor is responsible for all field testing and "record drawings" as required by various authority requirements.
- The contractor shall notify the appropriate authorities at least 10 days prior to the commencement of construction.
- The contractor shall call Pa One Call prior to beginning construction.

## Post-Construction Stormwater Management (PCSM) Standard Notes

- A licensed professional or a designee shall be present onsite and be responsible during critical stages of implementation of the approved PCSM Plan. The critical stages may include the installation of the underground treatment or storage BMPs, structurally engineered BMPs, other BMPs as deemed appropriate by the department or the conservation district.
- The PCSM Plan, inspection reports, and monitoring records shall be available for review and inspection by the department or the conservation district.
- PCSM Plan Long-Term Operations and Maintenance Requirements
- The permittee or co-permittee shall be responsible for long-term operation of the PCSM BMPs unless a different person is identified in the notice of termination and has agreed to the long-term operation and maintenance of the PCSM BMPs.
- A permittee or co-permittee that fails to transfer the long-term operation and maintenance of the PCSM BMP or otherwise fails to comply with this requirement shall remain jointly and severally responsible with the landowner for long-term operation and maintenance of the PCSM BMPs located on the property.

## Notice of Termination and Recording of Plan

- If the permittee is the landowner and will agree to be responsible for long-term operation and maintenance of the PCSM BMPs:
- An instrument will be signed by the permittee (as both grantor and grantee) and notarized. The instrument, along with attachments, shall (to satisfy 25 Pa. Code § 102.8(e)(1)):
    - identify the PCSM BMP(s), and
    - provide for the necessary access related to long-term operation and maintenance of the PCSM BMP(s); and
    - note that the responsibility for long-term operation and maintenance of the PCSM BMP(s) is a covenant that runs with the land that is binding upon and enforceable by subsequent grantees.
  - The above instrument and attachments listed below shall be recorded within 45 days of permit issuance or authorization. The proof of filing the instrument and attachments shall be provided to the Department or conservation district within 90 days of permit issuance or authorization:
    - approving the plan;
    - removal and maintenance plan (synonymous with the long-term operation and maintenance schedule included within the PCSM plan);
    - an operation and maintenance agreement will not need to be signed or recorded in this scenario because the permittee is the landowner;
    - the location and dimensions of the PCSM BMPs on the record drawings are the same as those on the PCSM plan, there are no subsurface BMPs, all BMPs are non-engineered and require minimal maintenance, and the operation and maintenance plan has not changed; the instrument will need to be amended to reflect the record drawings accurately reflect as-built conditions;
    - operation and maintenance plan (synonymous with the long-term operation and maintenance schedule included within the record drawings);
    - the permittee shall provide "proof of filing" the instrument and attachments in the form of a receipt from the county Recorder of Deeds Office and complete Section 7.b of the NOT form.

## Post-Construction Stormwater Management Operation and Maintenance Owner/Operation

- Bane II Investments, LLC  
10 Knoxy Court  
Mechanicsburg, PA 17055  
Acknowledgement of Responsibility

I hereby acknowledge that, I am responsible for the Post-Construction operation and maintenance of all storm water management conveyances and BMPs as state below:

Owner/Operator \_\_\_\_\_ Date \_\_\_\_\_

- Notes**
- All stormwater conveyances and BMPs shown on this plan shall be constructed by the contractor in accordance with the design, conditions and specifications identified on this plan. Ownership, operation, and maintenance of the storm water management facilities shall be the responsibility of the landowner, his successors and assigns in perpetuity, unless specifically identified otherwise herein.
  - Stormwater management conveyances and BMPs shall be operated and maintained in good working condition to ensure that they perform their design function, in a manner acceptable to the township and county.
  - The owner shall inspect each stormwater management conveyance and BMP after each 1" rainfall event or at the minimum schedule noted on this plan. Appropriate action shall be taken to ensure that repair, replacement or other routine maintenance of the BMPs to ensure proper function and operation. All maintenance costs shall be borne by the owner. A written document reporting each inspection and all BMP repair and maintenance activities shall be kept by the property owner.
  - Municipal and county officials and their agents or employees shall have the right of access for inspection and shall have the right at their discretion to maintain or repair the facilities as necessary to restore them to their design conditions. The cost to complete the maintenance or repair shall be borne by the responsible property owner(s).

## Recycling & Disposal of Materials:

Wastes generated during the construction of this project shall be recycled if at all possible. This shall include the erosion control BMPs. Any materials that cannot be recycled or reused shall be disposed of as a NPDES permitted site. If soil and/or rock disposal or borrow areas are required, approved erosion and sedimentation controls shall be implemented at these areas that meet chapter 102 and/or other state and federal regulations.

All building materials and wastes shall be removed from the site and recycled or disposed in accordance with the department's solid waste management regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or waste unused building materials shall be burned, buried, dumped, or discharged at the site.

- Construction Waste:**
- Approved waste materials for this project are rock, topsoil, subsoil, and building materials. Some rock, subsoil, and topsoil will be used on site during earth moving and construction of the proposed access drives and utilities installation. All building materials and wastes shall be removed from the site and recycled or disposed in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
  - Concrete Washout:
    - A compost sock washout detail has been provided, but prefabricated washout containers, self-installed washouts, or washwater recycling systems may be substituted as long as manufacturer specification and PA DEP requirements are met.
    - Sediment and basins may not be used as concrete washout devices.
    - Washout facilities should not be placed within 50' of storm drains, open ditches, or surface waters, in an area accessible for trucks and on slopes less than 2%, where possible.
    - Concrete washout facilities should be inspected daily. Damages or leaking washouts should be deactivated and repaired or replaced immediately.
    - Accumulated materials should be removed when they reach 75% capacity.
    - Plastic liners should be replaced with each cleaning of the washout facility.

- Permanent Stabilization:**
- Permanent stabilization is defined as a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
  - All topsoil shall be replaced at a minimum depth of at least 6 inches in order to promote stormwater infiltration and permanent vegetative stabilization on all disturbed areas to be permanently revegetated.
  - All topsoil shall be loosened to a depth of at least 4 inches. All objectionable material larger than 2 inches shall be removed.
  - Contractor shall provide soil testing pH before implementing permanent seeding. Limestone and fertilizer shall be applied uniformly in areas to be seeded and worked into the soil to a depth of 2 inches. In the absence of soil testing, apply limestone and fertilizer per the application rate specified below:
    - Limestone - pulv ag at 6 tons per acre
    - Fertilizer - 100 lbs/acre, 12-12-12, 200 lbs/acre P205, 200 lbs/acre K20
  - Mulch of long stem straw shall be applied at an even application rate of 3 tons per acre with a surface covering of 100%. Mulch shall be either mechanically stabilized or stabilized by use of a tackifier.
  - Hydroseed is not considered stabilized until it germinates.

- Areas of Minimized Total Disturbance - Grading**
- Area shall not be subject to grading or movement of existing soils
  - Existing native vegetation in a healthy condition may not be removed
  - Areas subject to disturbance shall be minimized
  - Pruning or other required maintenance of vegetation is permitted. Additional planting is permitted
  - Area shall be protected by having limits of disturbance clearly shown on all construction drawings and delineated in the field.
  - The area not subject to grading shall be clearly delineated on the Stormwater Management Plan. If future grading or disturbance of this area occurs, subsequent stormwater management must be provided to address disturbance.
  - Area shall not be located on the development project.

## Ownership, Operation and Maintenance Notes:

1. All stormwater conveyances and BMPs shown on this plan shall be constructed by the contractor in accordance with the design, conditions and specifications identified on this plan. Ownership, operation, and maintenance of the storm water management facilities shall be the responsibility of the landowner (Bane II Investments, LLC), his successors and assigns in perpetuity, unless specifically identified otherwise herein.
2. The owner shall inspect each stormwater management conveyance and BMP after each 1" rainfall event or at the minimum schedule noted on this plan. Appropriate action shall be taken to ensure that repair, replacement or other routine maintenance of the BMPs to ensure proper function and operation. All maintenance costs shall be borne by the owner.
3. A written report documenting each inspection and all BMP repair and maintenance activities shall be kept by the property owner.
4. Municipal and county officials and their agents or employees shall have the right of access for inspection and shall have the right at their discretion to maintain or repair the facilities as necessary to restore them to their design conditions. The cost to complete the maintenance or repair shall be borne by the responsible property owner.
5. Any debris, sediment, contamination, spills, replaced structures, etc. should be disposed of in a composting facility, trash container, or disposed or recycled in a manner as per the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 and 287.1 et seq. and 25 Pa. Code 102.4(b)(6)(x).

## Subsurface Basin:

- Schedule:  
-Inspect on a quarterly basis  
-After every storm event greater than 1"

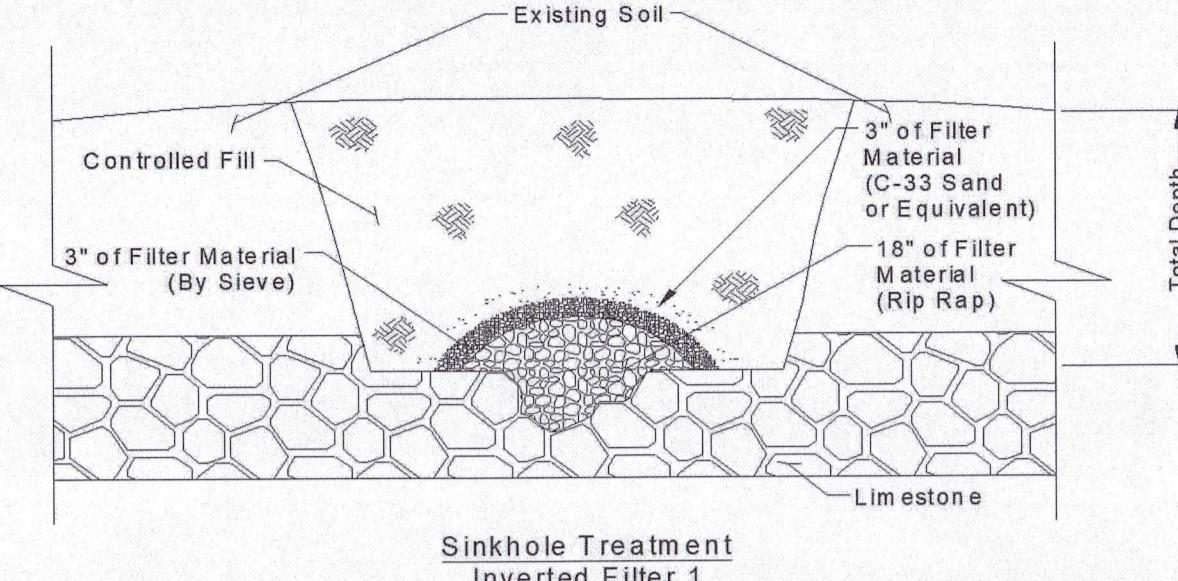
## Inspection/Maintenance:

- Inspect for structural integrity and operation of the system, outlet structure, inlet structures, and appurtenances. Inspect for surface depressions or other signs of potential structural deficiencies. Repair as necessary to design conditions.
- Inspect after runoff events to ensure drawdown in 72 hours.
- Inspect for sediment and debris accumulation in system and connected structures. Remove any sediment and debris as necessary. Proper disposal of sediment.
- Inspect the outlet structure and all appurtenances, water quality devices, and inlets are free of debris and have clear opening as designed. Remove and dispose of any accumulated debris.
- Inspect for sinkholes. Repair as per Sinkhole Repair Detail.
- Inspect for signs of water contamination/spills. Properly remove.
- Inspect catch basins and inlet (upgradient of the BMP). Remove sediment and debris as necessary.
- Inspections of BMPs can be performed via the inspection/maintenance ports, upstream inlet, and outlet structure. Each of these features can be accessed by removing that lid at the surface for a visual inspection for debris or sediment. Check the condition of all access points with a flashlight. Use a mirror or a pole or other device to check for sediment accumulation within the system if sediment is observed. The depth should be measured with the inspection log and removed as per Maintenance Notes below.

## Additional Maintenance:

- If standing water is found within the BMP, the water shall be pumped out into the system outlet structure to dewater the system, and the system may be televised to try and determine the cause of the standing water. If no issue is found, the system should be inspected following the next three rain events exceeding 0.25 inches. If the system is still found to not be dewatering, an engineer shall be consulted for an evaluation of the facility in order to develop a revised system design for PADEP or Conservation District approval.
- Vegetation tributary to the BMP shall be maintained in accordance with the approved plan and township ordinance.
- Removal accumulated sediment and debris from BMP as required. Sediment shall be removed via back-flushing per the instruction below.
- To back-flush the system, pump water into the system through maintenance ports as rapidly as possible. Water should be pumped into all maintenance ports. The turbulent action of the water will suspend sediments, which may be pumped out via one of the inlet structures. Ideally, perform this maintenance within 24 hours of a rainfall event so the runoff entering the system will aid in the sediment suspension and reduce the volume required to properly flush the system. Once removed, sediment-laden water should be captured for disposal or pumped through a filter bag. Properly dispose of sediment in accordance with all federal, state, and local regulations.

SOIL NAME	SOIL USE LIMITATIONS/RESOLUTIONS														
	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	DROUGHT	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE	HYDRAULIC INCLUSIONS	LOW/STRENGTH/LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	PONDING
Udorthents	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
Hagerstown	X	S													

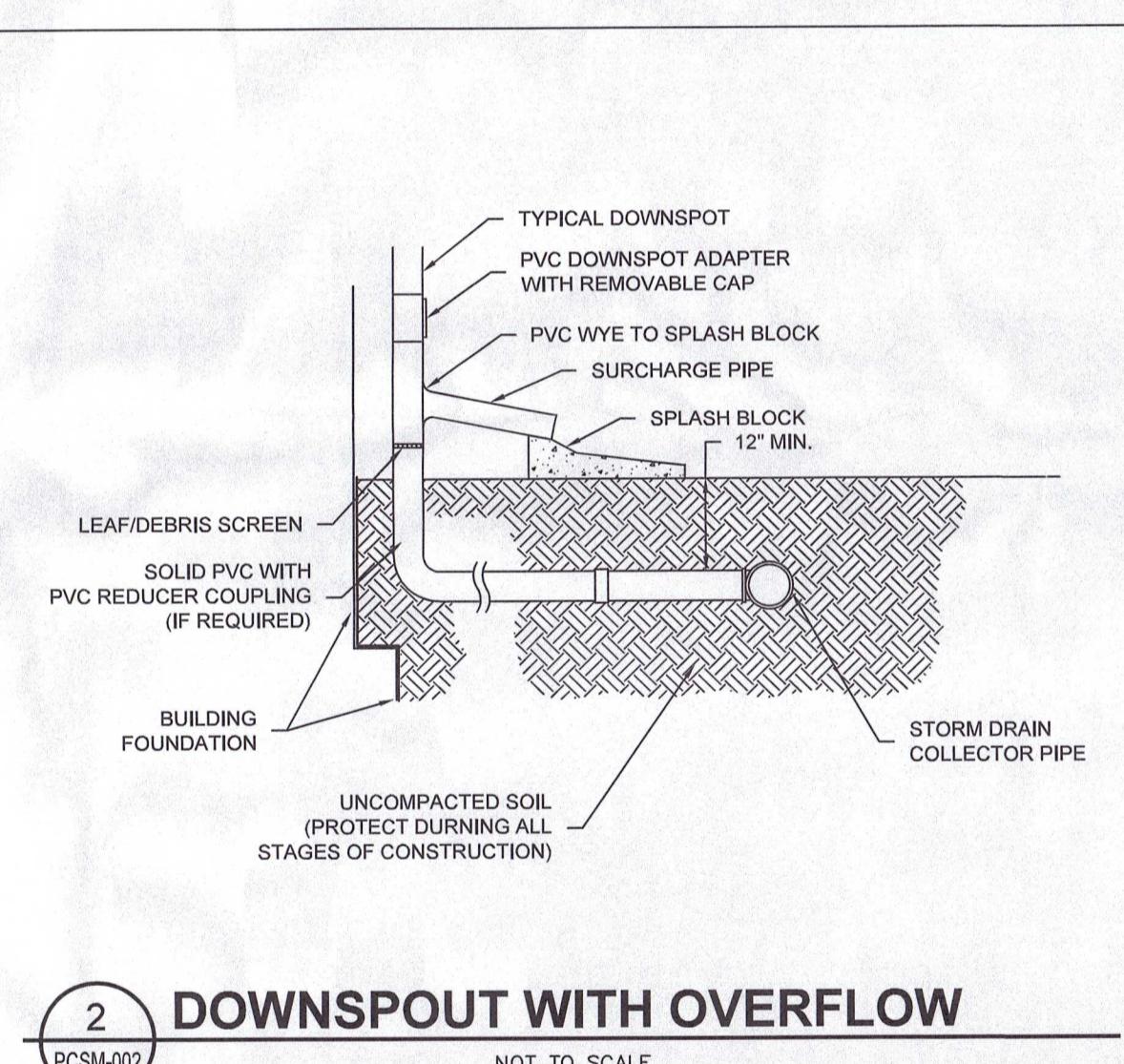


Sinkhole Treatment  
Inverted Filter 1

Figure 1

- Notes:  
Inverted Filter 1  
Procedure for installing inverted filter to treat sinkholes.
- Remove and properly dispose of materials dumped in and around the sinkhole.
  - Excavate loose material from sinkhole and try to expose the solution void(s). Enlarge the sinkhole, as necessary, to allow for installation of filter materials (Figure 1).
  - Select a field stone that is about 1.5 times larger than the solution void(s). Place the stone(s) in the void(s) forming a secure "bridge". A geotextile may be needed to "lock" the stone "bridge" in place, as determined by the geotechnical engineer.
  - Place a layer of filter material over the "bridge" at a minimum thickness of 18 inches. About 30 percent of the material should be larger than the openings between the bridge and the void(s). (A well-placed "bridge" should not have large openings around it.) In most cases this material could be Rip Rap.
  - Place a layer of smaller size filter material over the previous layer at a minimum thickness of 9 inches. The size should be 1/4 to 1/2 the size of the previous layer. In most cases this material could be 57 stone.
  - Place a layer of sand size filter material over the previous layer at a minimum thickness of 9 inches. The sand should be compatible in size with the previous layer to prevent piping. In most cases this material could be C-33 sand or equivalent.
  - (A non-woven filter cloth with a burst strength between 100 to 200 psi can be substituted for the stone and sand filter materials discussed in 5 and 6.
  - Backfill over the filter material (or filter cloth) with soil material to the surface. The type of any soil material excavated from the sinkhole should be considered. Overfill by about 5 percent to allow for settlement. The material should be soil with at least 50% clay materials and a minimum of 3 feet thick. The fill materials should be compacted to a minimum of 95% of the standard proctor (AASHTO T-99). Any available topsoil should be placed on the surface.
  - Stone used for the "bridge" and the filters should have a rock strength at least equal to moderately hard (i.e. resistant to abrasion or cutting by knife blade but can be easily dent or broken with light blows of hammer). Shale or similar soft and non-durable rock is not acceptable.

## SINKHOLE REMEDIATION DETAIL



DOWNSPOUT WITH OVERFLOW

NOT TO SCALE

OUTLET NO.	PIPE DIA Pd (IN)	SIZE R <sub>1</sub> (IN)	THICK R <sub>2</sub> (IN)	LENGTH AI (FT)	INITIAL WIDTH Aw (FT)	TERMINAL WIDTH Aw (FT)
E1	4	4	9	6	0.5	6.5
E2	8	4	9	6	2	8
E3	6	4	9	6	1.5	7.5

NOTES:  
All aprons shall be constructed to the dimensions shown. Terminal widths shall be adjusted as necessary to match receiving channels.

All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.

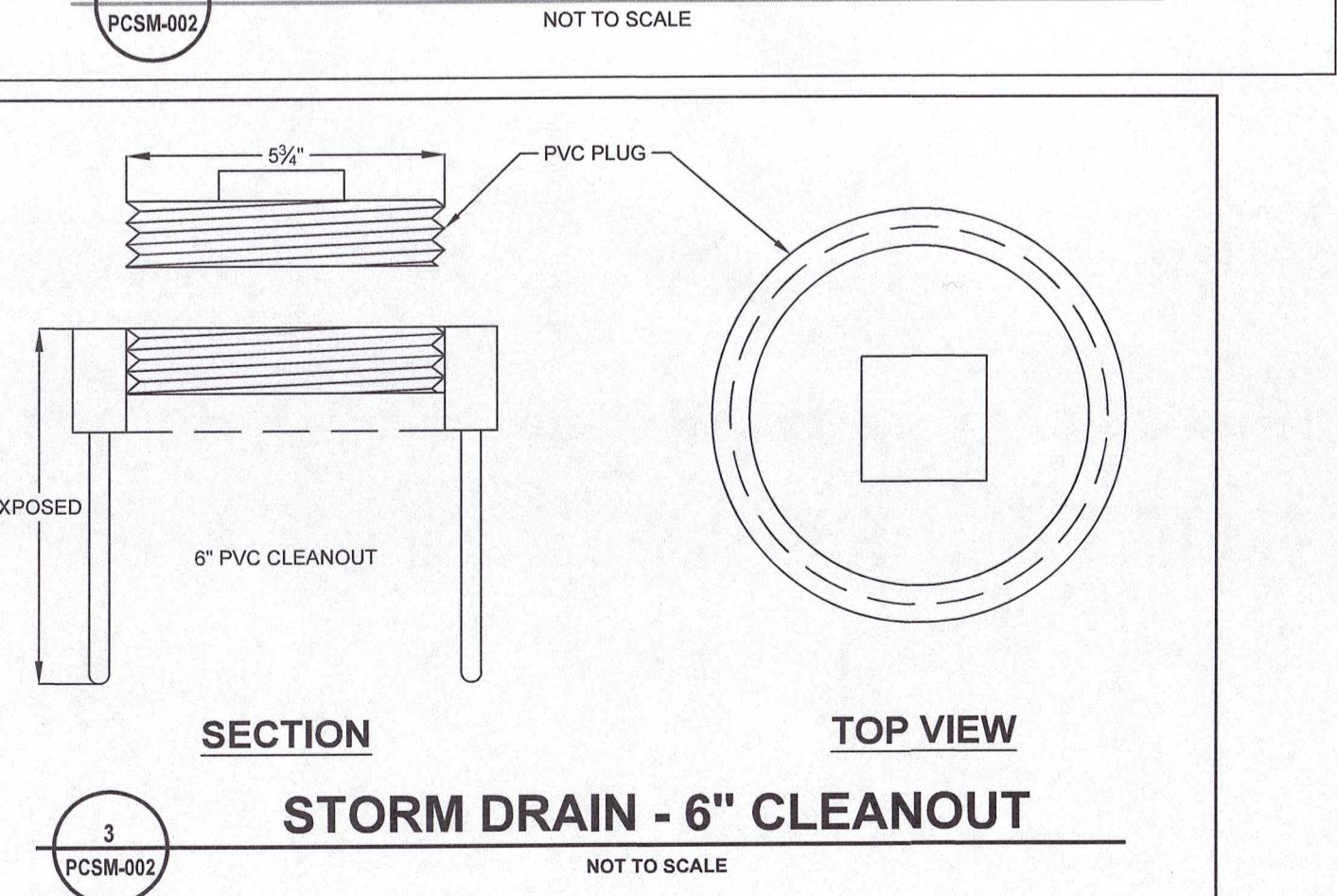
## STANDARD CONSTRUCTION DETAIL #9-1

### RIPRAP APRON AT PIPE OUTLET

WITH FLARED END SECTION OR ENDWALL

NOT TO SCALE

PCSM-002



STORM DRAIN - 6" CLEANOUT

NOT TO SCALE

PCSM-002

## SPRING LAKE APARTMENTS

STUDIED SOUTH OF THE INTERSECTION  
OF CARLISLE ROAD AND ORCHARD ROAD  
LOWER ALLEN TOWNSHIP, PENNSYLVANIA

Bane II Investments, LLC c/o Mike Weirer  
10 Knoxy Court, Mechanicsburg, PA 17055  
717.446.4411

PROJECT NO.

2022-0012

DWY BY

CMH

DATE

6-29-2023

PROJECT MANAGER

JTD

EMAIL

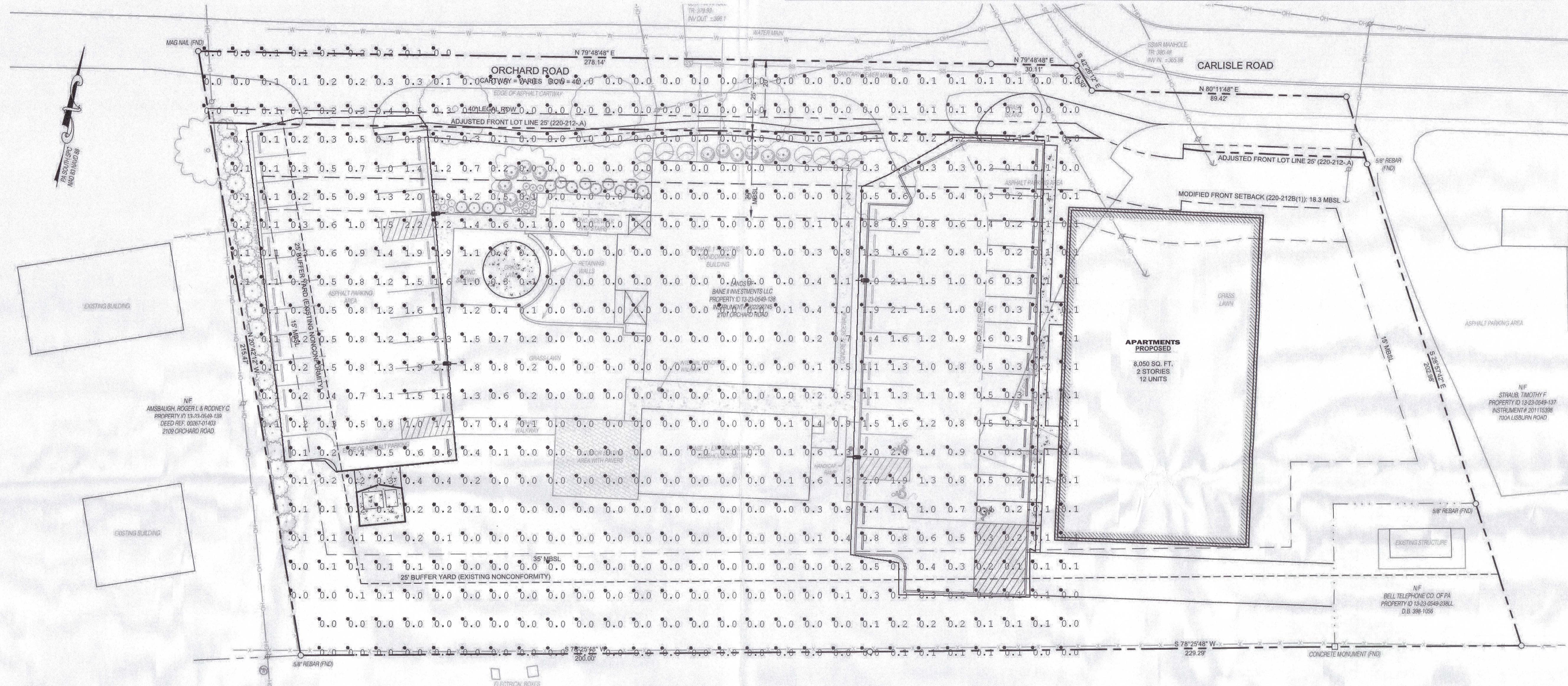
jtd@ca-inc.com

### Luminaire Schedule

Symbol	Qty	Label	Description	Lumens/Lamp
	4	35W TYPE II	SL34 20' POLE	5550

### Numeric Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	ILLUMINANCE	Fc	0.31	2.3	0.0	N.A.	N.A.
LEFT LOT	ILLUMINANCE	Fc	0.87	2.3	0.1	8.70	23.00
RIGHT LOT	ILLUMINANCE	Fc	0.72	2.1	0.1	7.20	21.00



**WEIDNER CONSTRUCTION**

### Solar Illuminations

5611 Halifax Avenue  
Fort Myers, FL 33912  
TELEPHONE: 239-461-5522  
EMAIL: sales@solarilluminations.com



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PROJECT NO: 2022-0236  
DWN BY: DATE  
PROJECT MANAGER: JTD  
EMAIL: jtd@fsa-inc.com  
PROPERTY ID: 13-23-0549-138  
SCALE:  
SHEET TITLE:

PHOTOMETRIC &  
LIGHTING PLAN

PHT-001

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